

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Robert Eastman, Planning Manager, Land Development & Community Services Dept.
From: Duane McNelly, Land Development Coordinator, Department of Public Works
Subject: SPR-07-2021 **The Cine Apartments**
Date: August 16, 2021

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans. Conformance may require modifications to the site plan.
3. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040; Conformance may require modifications to the site.
4. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1
5. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
6. Building numbering shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards.
7. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.
8. A revocable encroachment permit for landscaping within the public right of way is required.
9. The property owner shall grant a 5' PUE along the property boundary adjacent to public right of way.
10. The property owner is required to grant a roadway easement for commercial driveway(s).

11. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way. (Granted per separate document using a Sidewalk Easement).
12. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**: <http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.



Duane McNelly, Land Development Coordinator
Department of Public Works

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Robert Eastman – Planning & Zoning
From: Jared Luke – Acting Director of Economic Development
Subject: Cine Apartments (Conversion of Ground Floor Commercial to Residential –
Update Site Plan)
Date: August 11, 2021

Economic Development staff reviewed the new site plan for the Cine Apartments, to be built on an approximately 7-acre parcel, APN#: 139-111-004, adjacent to Maya Cinemas and the new Civica Charter School opening in August 2021.

The RDA approved a waiver, per NRS 279.432, to allow for first-floor residential development on the site at the December 2, 2020 meeting. Since the first-floor residential development was authorized by the waiver, the Department does not have any issue with the new site plan.

Economic Development staff fully supports the updated site plan for ground floor residential and believes this will be a transformative urban project in the City's downtown, providing affordable and market-rate housing options for the City's residents.

Sonoma Housing Advisors, LLC
Bill.fisher@sonomaadvisors.com
16800 Dallas Parkway, Suite
215 DALLAS, TX 75248
214-608-7201

James R, (Bill) Fisher
Sonoma Housing Advisors, LLC
16800 Dallas Parkway, Suite 215
Dallas, TX 75248
972-701-5551
214-608-7201 Cell

July 26, 2021

RE: Letter of Intent for Site Plan Review

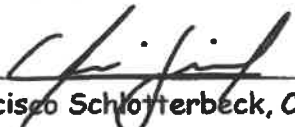
This letter serves as a Letter of Intent for a Site Plan Review to develop 7.11 acres of useable currently vacant land, property zoned or to be entitled for mixed use including MF living, mixed income affordable housing at 50 units per acre up to 4 stories (The Property). This property is Assessor's Parcel No. 139-23-111-004 at the corner of Hamilton Street and North Las Vegas Blvd and is part of the Maya Cinema Property. We will be developing 270 Units.

Cordially

Real Estate Consultant for Maya Cinemas North America, Inc.

Authorized and Approved by Seller:

Maya Cinemas North America, Inc.


Francisco Schlotterbeck, Chief Operating Officer

Date: 7/26/2021

Accepted by Buyer:

Sonoma Housing Advisors, LLC


James R. (Bill) Fisher

Date: 7/26/2021

T 702-365-9312 | F 702-365-9317

6345 S Jones Blvd, Suite 100
Las Vegas, NV 89118



March 3, 2021

Mr. Robert Eastman
Planning and Zoning Manager
City of North Las Vegas
2250 North Las Vegas Boulevard
North Las Vegas, Nevada 89030

Subject: Cine Apartments
Lochsa Engineering No. 201068

To whom it may concern:

Lochsa Engineering is currently assisting Rise Residential in obtaining construction permits for the Cine Apartments located on the northwest corner of Las Vegas Boulevard and Hamilton Street within North Las Vegas, Nevada. The site is also referred to as Assessor's Parcel Number 139-23-111-004.

The proposed apartment complex will consist of 262 dwelling units. The total number of available stalls is 391 parking stalls per the site plan. Per City of North Las Title 17 the number of required parking stalls is 505 stalls. Per City of North Las Vegas Municipal Code, a parking reduction of 25 percent is allowed. This reduction would allow the parking requirement to be 379 stalls.

In order to determine that 391 stalls are adequate for the project, the ITE publication entitled "Parking Generation – 5th Edition" was consulted. Based upon the land use of "Multifamily Housing (Mid-Rise) (ITE code 221), the fitted curve equation is as follows:

$$P = 1.34 (X) - 8.73$$

Where P is parking stalls and X is dwelling units

The recommended number of parking stalls is as follows:

$$P = 1.34 (262) - 8.73 = 342.3 \text{ or } 343 \text{ stalls}$$

Based upon the proceeding observations and calculations, the provided 391 parking stalls will be adequate for the project.

If you have any questions or comments, please contact our office at your convenience.

Sincerely,

LOCHSA ENGINEERING

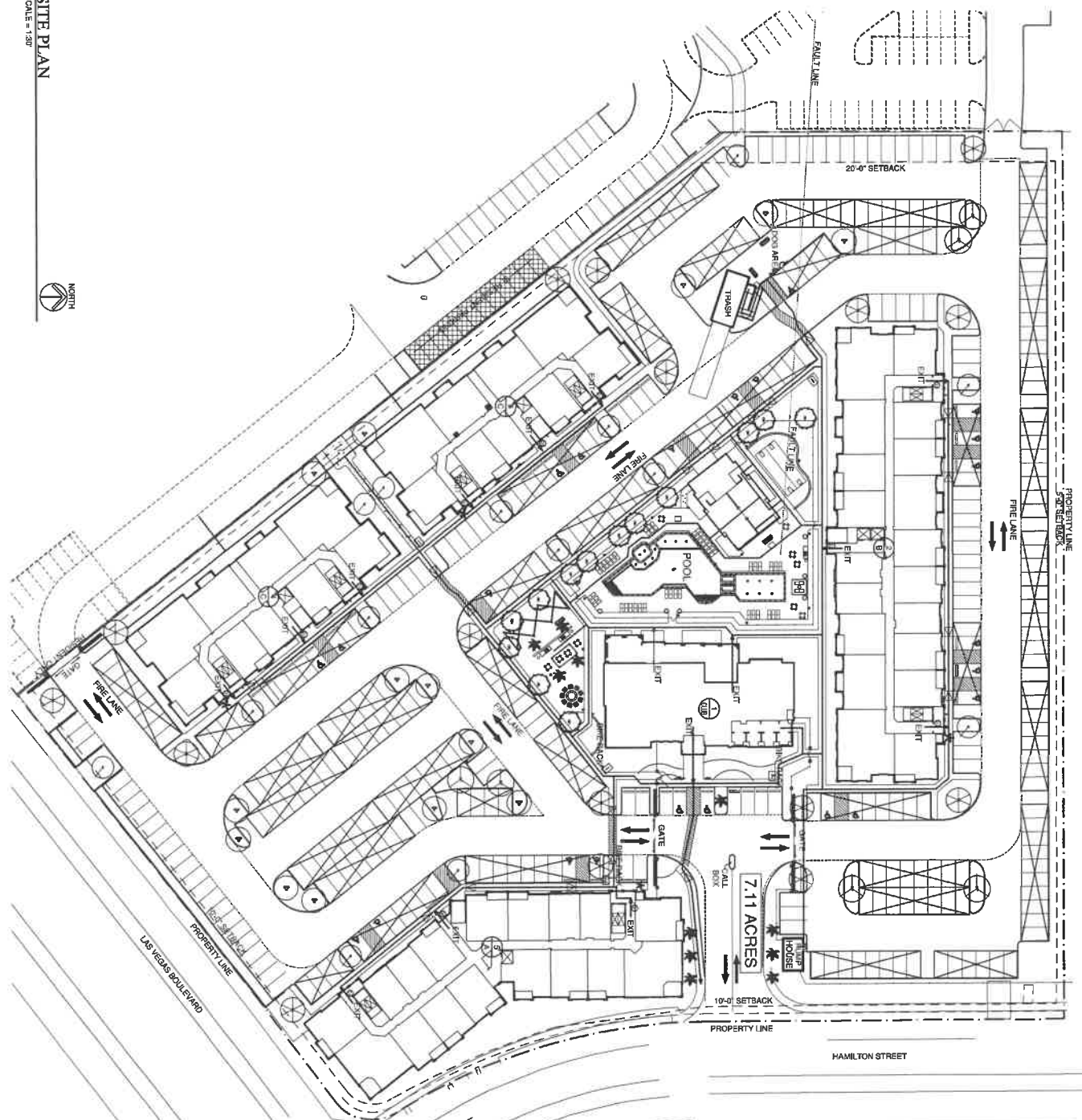

Ted T. Egerton, P.E.



3/3/2021

1 SITE PLAN

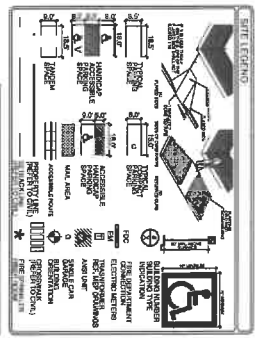
SCALE = 1/8" = 1'-0"



NOTE:
KEY BOXES WILL BE PROVIDED AT ALL FIRE SPRINKLER
AND FIRE ALARM LOCATIONS. THE LOCATION OF THE
FIRE MARSHAL PRIOR TO INSTALLATIONS.

BENCHES AND BIKE RACK WERE ADDED

PARKING TABULATION	
REQUIRED SPACE PER UNIT	SPACES
1 BR 1.5 SPACES PER UNIT	1501.5
2 BR 2 SPACES PER UNIT	4062
3 BR 2.5 SPACES PER UNIT	3042.5
TOTAL REQUIRED RESIDENTIAL PARKING	8506.5
25% PARKING REDUCTION	2126.6
TOTAL RESIDENTIAL PARKING	6379.9
PARKING PROVIDED	
SURFACE PARKING	127
ACCESSIBLE SURFACE PARKING	9
UNDERGROUND PARKING	282
COVERED PARKING	282
TOTAL PARKING	400



DATE

07-23-2021

PROJECT

20186

SHEET NUMBER

A1-01

HECK ARCHITECTS

4590 EXCEL PARKWAY ADDISON, TX 75001

214.520.8676

ISSUED

07-23-2021

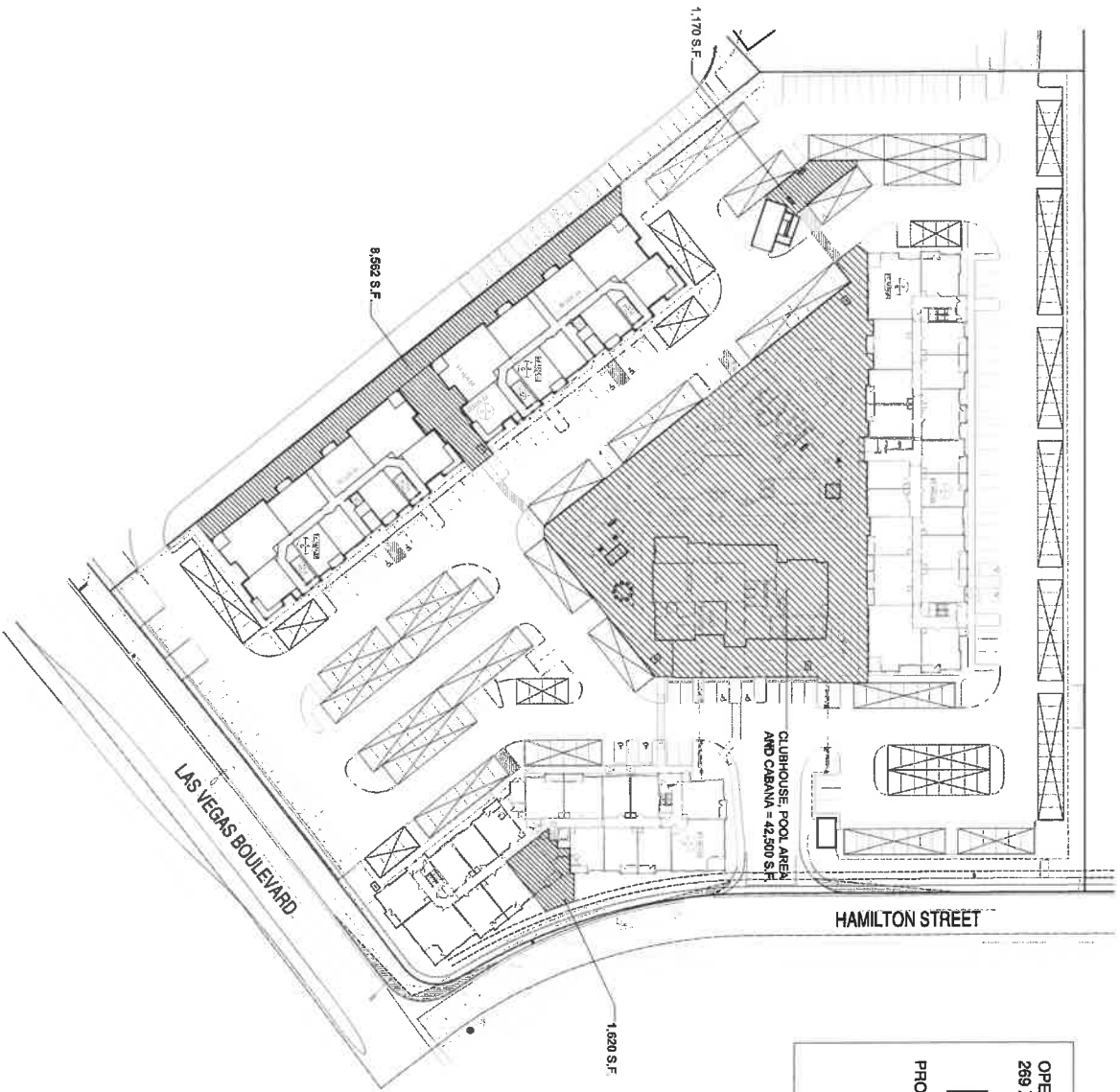
CINE APARTMENTS

2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030

SONOMA HOUSING

REVISIONS

NO.	DESCRIPTION



OPEN SPACE REQUIRED IS 200 S.F. / UNIT
 289 X 200 = 53,800

 = OPEN SPACE

PROVIDED
 DOG PARK = 1,170 S.F.
 CLUB/POOL = 42,500 S.F.
 BLDG C AMENITIES = 8,582 S.F.
 BLDG A AMENITIES = 1,620 S.F.
 TOTAL = 53,862 S.F.

OPEN SPACE PLAN

SCALE: 1" = 40'-0"



CINE APARTMENTS
 2293 HAMILTON STREET
 NORTH LAS VEGAS, NEVADA 89030

CLIENT:
 OWNER
 ECHONIA HOLDINGS
 10000 W. HAWTHORNE AVENUE
 DALLAS, TEXAS 75248

DESIGNER:
 ARCHITECT
 LANDSCAPE ARCHITECT
 CIVIL ENGINEER
 MECHANICAL ENGINEER
 ELECTRICAL ENGINEER
 PLUMBING ENGINEER
 FIRE PROTECTION ENGINEER
 ENVIRONMENTAL ENGINEER
 GEOTECHNICAL ENGINEER
 STRUCTURAL ENGINEER
 TRANSPORTATION ENGINEER
 WIND ENGINEER
 SPECIALTY ENGINEER



ISSUE FOR PERMIT

CINE APARTMENTS

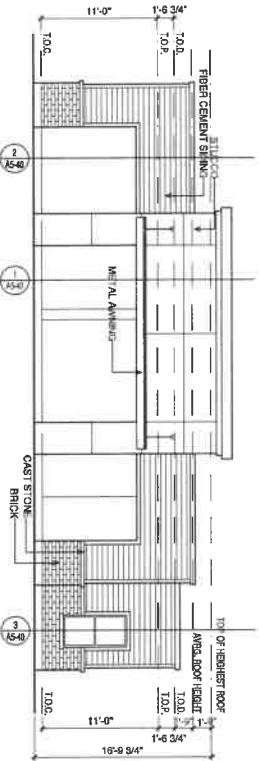
ARCHITECT: MBB

LANDSCAPE ARCHITECT: MBB

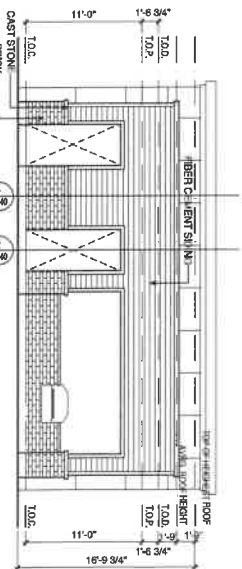
OPEN SPACE PLAN

OS-1

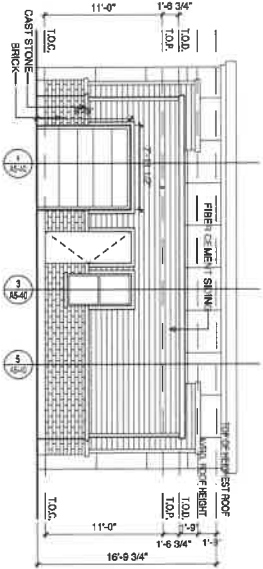
ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT
SPH400009-5020



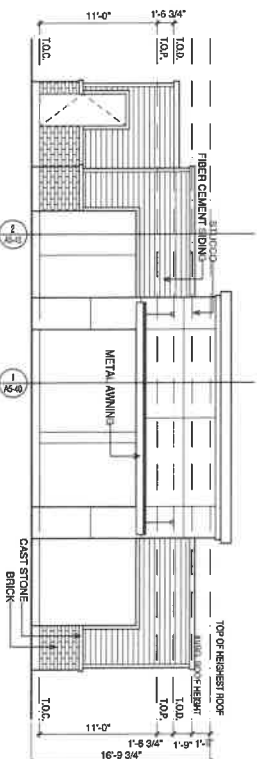
3 CABANA BACK ELEVATION
SCALE: 3/16" = 1'-0"



2 CABANA END ELEVATION
SCALE: 3/16" = 1'-0"



4 CABANA END ELEVATION
SCALE: 3/16" = 1'-0"



1 CABANA FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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A4-40 CABANA ELEVATIONS	DATE	07-23-2021
	PROJECT	20186
	SHEET NUMBER	
	4595 EXCEL PARKWAY ADDISON, TX 75001 214-520-8878 heck.com	

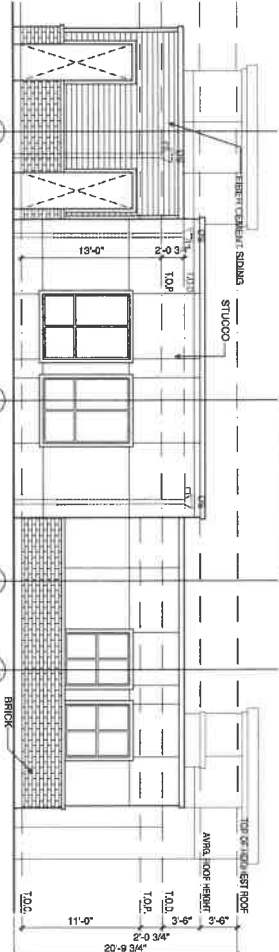
ISSUED
07-23-2021

CINE APARTMENTS
2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030
SONOMA HOUSING

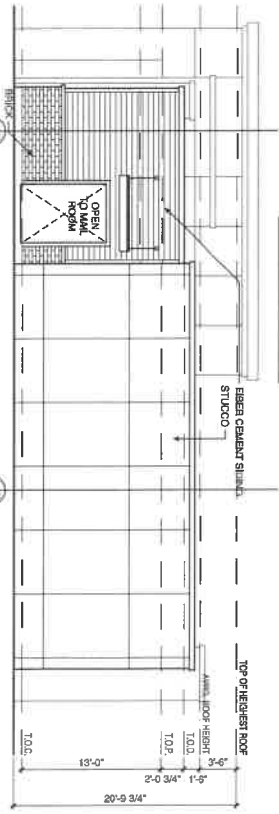
REVISIONS

ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT
SHEET 0000-000

BUILDING A - ELEVATION	
OPENING PORCENTAGE	81%
MATERIAL	10%
OPENING	10%



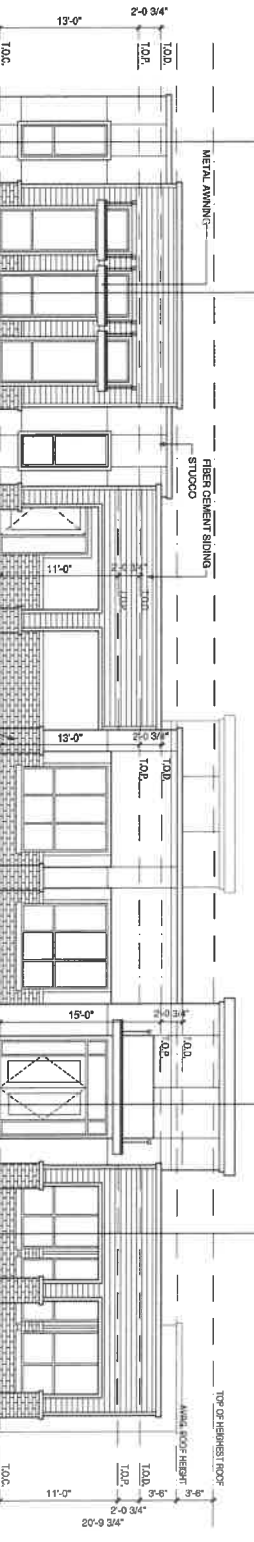
BUILDING X - ELEVATION	
OPENING PORCENTAGE	92%
MATERIAL	5%
OPENING	5%



4 CLUB/EASING END ELEVATION
SCALE 3/16" = 1'-0"

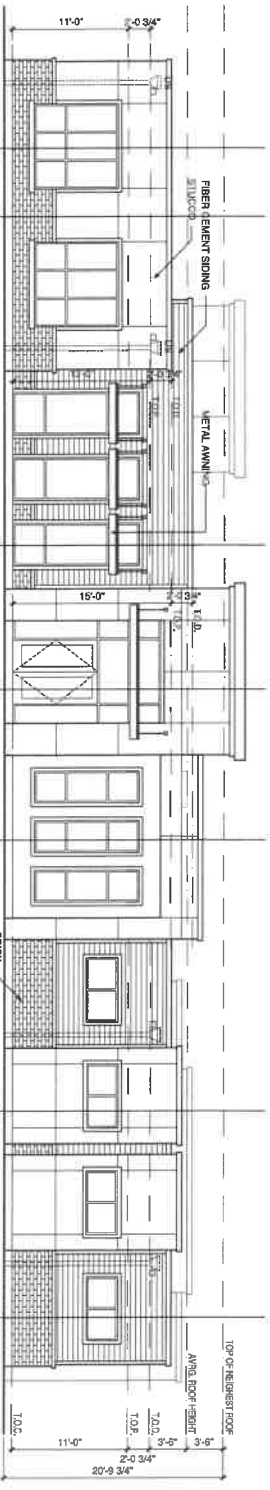
3 CLUB/EASING END ELEVATION
SCALE 3/16" = 1'-0"

BUILDING X - ELEVATION	
OPENING PORCENTAGE	71%
MATERIAL	29%
OPENING	29%



2 CLUB/EASING BACK ELEVATION
SCALE 3/16" = 1'-0"

BUILDING X - ELEVATION	
OPENING PORCENTAGE	74%
MATERIAL	26%
OPENING	26%



1 CLUB/EASING FRONT ELEVATION
SCALE 3/16" = 1'-0"

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DATE
07-23-2021

PROJECT
20186

SHEET NUMBER
A4-30

CLUB/EASING
ELEVATIONS

HECK
ARCHITECTS

4595 DIXIE PARKWAY ADDISON, TX 75001
214.320.0978 heck.com

ISSUED
07-23-2021

CINE APARTMENTS

2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030

SONOMA HOUSING

REVISIONS

SCALE: 3/32" = 1'-0"



PLAN LEGEND:

	DOOR KEY		WATER LOCATIONS
	WINDOW KEY		FIRE SPROCKET RISER ROOM
	MECH. ROOMING		ADA UNIT
	MECH. ROOMING		RAMPDOWN
	KEY UNIT		ELEVATOR LOBBY

[illegible]

REMISSIONS

CINE APARTMENTS
2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030
SONOMA HOUSING

2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030
SONOMA HOUSING



HEDK
ARCHITECTS
4555 EXCEL PARKWAY ADDISON, TX 75001
214.920.8878 hedk.com

DATE
07-23-2021

PROJECT
201 B6

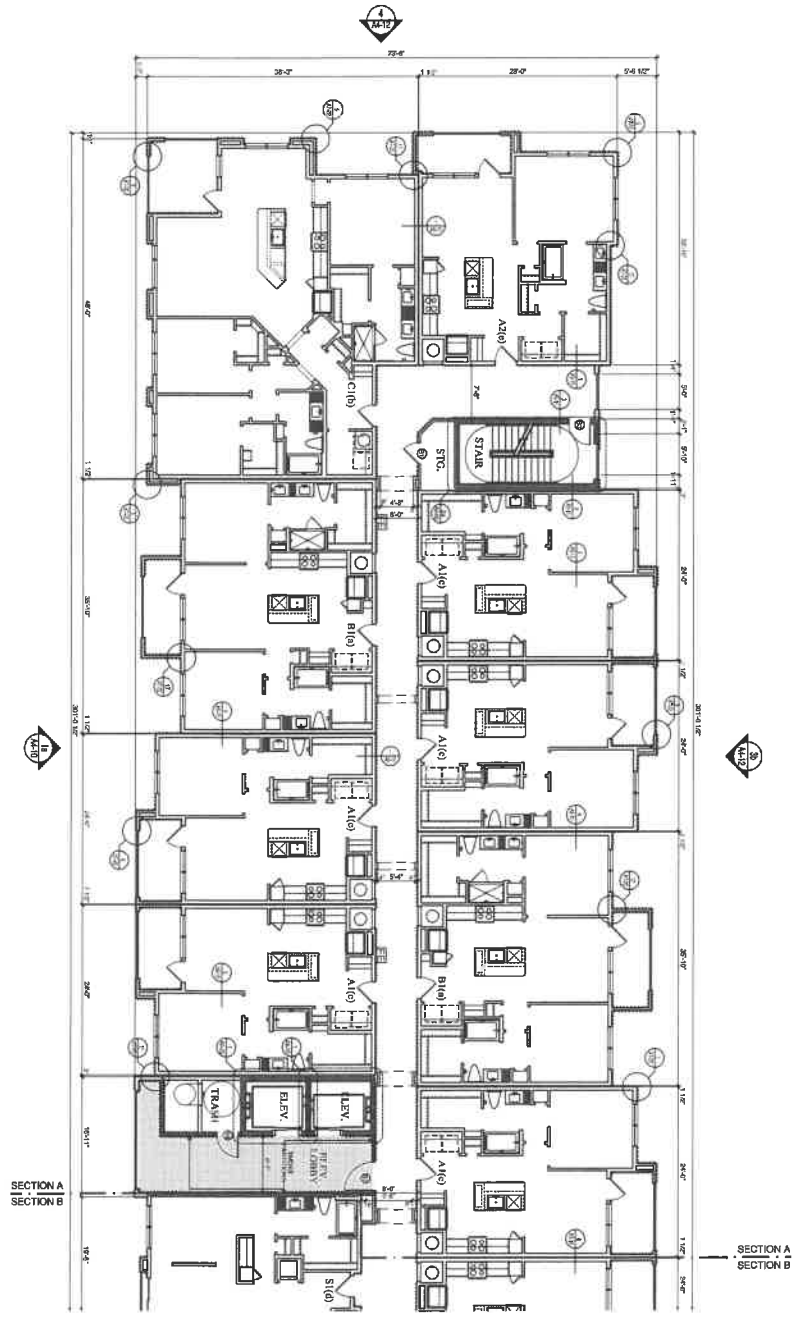
SHEET NUMBER
A3-14

BUILDING B
FOURTH FLOOR

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BUILDING B - SECTION A - FORTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



MATERIAL LEGEND

████████	BRICK
~~~~~	FIBER GLASS UP RISERS
+++++	STUCCO

**PLAN LEGEND:**

○	DOOR KEY	▨	NETS LOCATIONS
◊	WINDOOR KEY	▩	PRE-APPROVED RISER ROOM
□	NETS AREAS	▧	COLLANT
+	FLOOR SHAPE	▦	FLAT ROOF

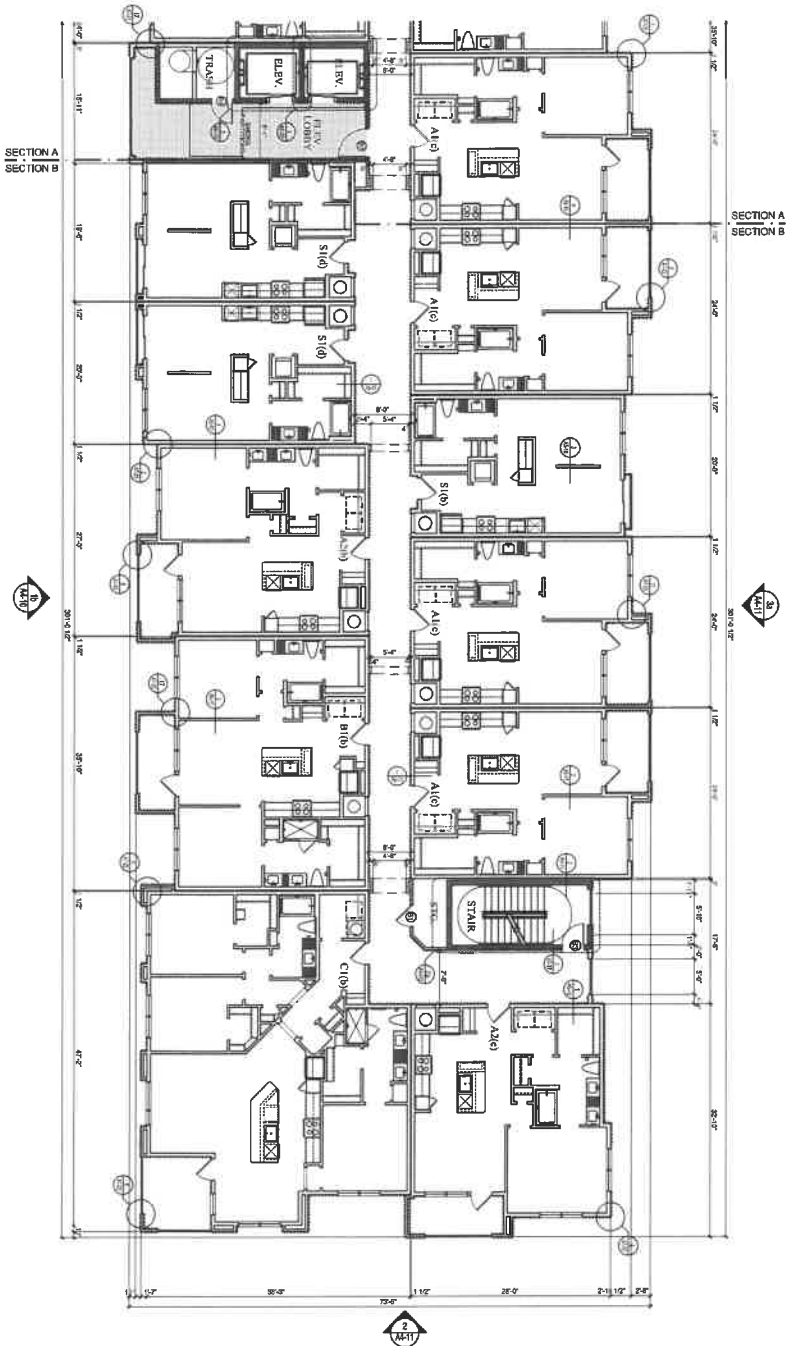
**200RS SHORT PARTITION**

**GENERAL NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.

**ELEVATOR LOBBY NOTES:**  
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL ELEVATOR LOBBY MATERIALS.  
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ELEVATOR LOBBIES AT ALL TIMES.  
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ELEVATOR LOBBIES.

<b>HEAVY</b> ARCHITECTS   4595 EXCEL PARKWAY ADDISON, TX 75001 214.550.8878 heavy.com	DATE: 07-23-2021   PROJECT: 20186   SHEET NUMBER: A3-14a   BUILDING B-SECTION A FOURTH FLOOR	ISSUED: 07-23-2021	<b>CINE APARTMENTS</b>   2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030   <b>SONOMA HOUSING</b>	<b>REVISIONS</b>  <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION						
	NO.	DESCRIPTION										
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# **BUILDING B - SECTION B - FOURTH FLOOR PLAN** SCALE: 1/8" = 1'-0"



MATERIAL LEGEND	
	WALL
	DOOR SWICH
	DOOR SWICH

PLAN LEGEND	
	WALL LOCATION
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	WALL LOCATION

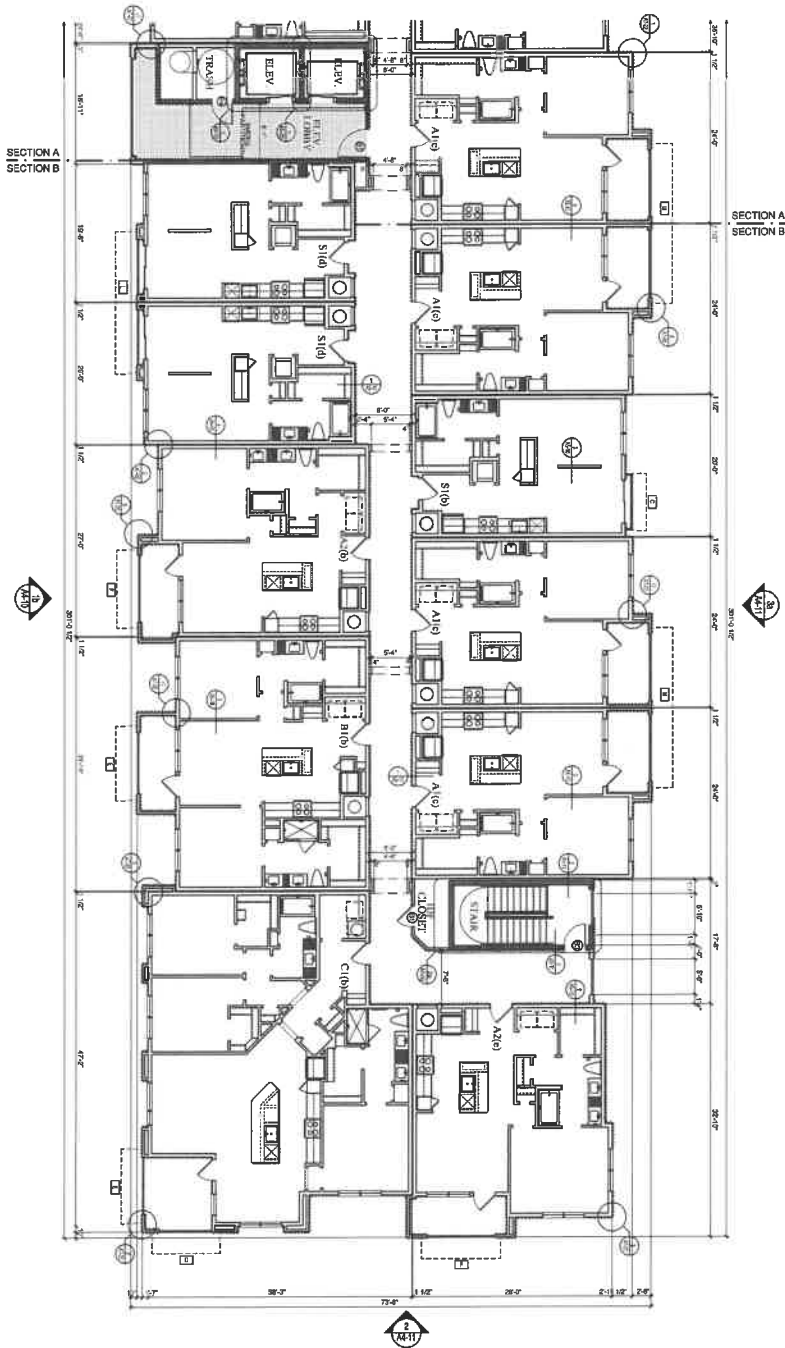
**GENERAL NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
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DATE: 07-23-2021          PROJECT: 20186          SHEET NUMBER: A3-14b          BUILDING B-SECTION B          FOURTH FLOOR	<b>HECK ARCHITECTS</b>          4195 E. 5500 S. PARKWAY ADDISON, TX 75001          214.550.8878	ISSUED: 07-23-2021	<b>CINE APARTMENTS</b>          2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030          SONOMA HOUSING	REVISIONS  <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION						
NO.	DESCRIPTION											



# **BUILDING B - SECTION B - FIFTH FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**WATER LEGEND**

—	WALL
----	FLOOR FINISH AT 2000
----	WALL FINISH AT 2000
----	CEILING FINISH AT 2000

**PLAN LEGEND**

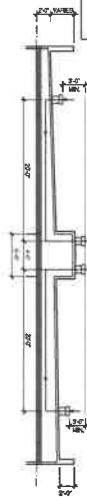
○	DOOR	○	WATER LOCATIONS
○	WATER LOCATIONS	○	WATER LOCATIONS
○	WATER LOCATIONS	○	WATER LOCATIONS
○	WATER LOCATIONS	○	WATER LOCATIONS
○	WATER LOCATIONS	○	WATER LOCATIONS

**GENERAL NOTES:**  
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<b>REVISIONS</b> 1. 07-23-2021 2. 07-23-2021 3. 07-23-2021	<b>DATE</b> 07-23-2021 07-23-2021 07-23-2021	<b>PROJECT</b> 20186 20186 20186	<b>SHEET NUMBER</b> A3-15b A3-15b A3-15b	<b>BUILDING B-SECTION B</b> FIFTH FLOOR	<b>HECK ARCHITECTS</b> 4195 EXCEL PARKWAY ADDISON, TX 75001 214.531.6878 heck.com	<b>ISSUED</b> 07-23-2021	<b>CINE APARTMENTS</b> 2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030 SONOMA HOUSING	(Empty grid for revisions)

BUILDING B ROOF DRAIN CALCULATIONS			
DOWNSPOUT PROVIDED	2018 LVS EQUIVALENT TABLE 1103.1		
DOWNSPOUT SIZE	3" x 4"	4"	
AREA OF DOWNSPOUT	12 SQ IN	12,996 SQ IN	
GALLONS PER MINUTE	183.852 GPM	192 GPM	
MAXIMUM ROOF AREA PER DOWNSPOUT	11,460 SF		
LVS VEGAS, NEVADA	(2018 APPENDIX D - TABLE D101.1)		
PROVIDED TOTAL	608 GPM / SF	608 GPM / SF	608 GPM / SF
STATUS	OK	OK	

BUILDING B ROOF VENT CALCULATIONS			
10,392 SQ. FT.	30' = AREA OF SLOPED ROOF		
175.36 SQ. IN.	1) = NET FREE VENTILATED AREA		
1,892 SQ. IN. - HIGH VENT	1) (144) / (200) =		
1,892 SQ. IN. - LOW VENT	2) FREE VENTILATED AREA / 2		
14 VENTS (1,896 SQ. IN. PROVIDED)	LOW VENT / 144		
14 VENTS (1,896 SQ. IN. PROVIDED)	LOW VENT / 144		

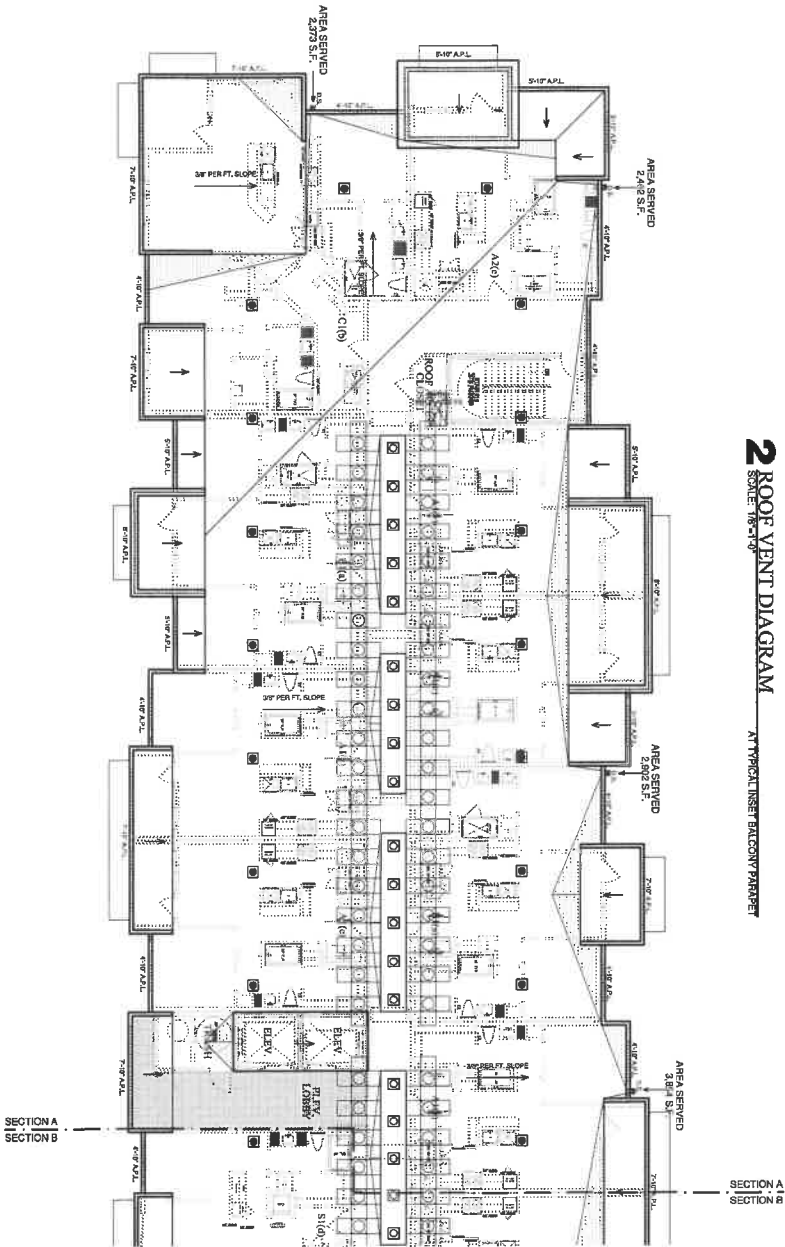


**2 ROOF VENT DIAGRAM**  
SCALE: 1/8" = 1'-0"

ROOF LEGEND:	
	180° VENTS
	120° VENTS
	90° VENTS
	60° VENTS
	45° VENTS
	30° VENTS
	15° VENTS
	0° VENTS
	180° VENTS
	120° VENTS
	90° VENTS
	60° VENTS
	45° VENTS
	30° VENTS
	15° VENTS
	0° VENTS

**ROOF GENERAL NOTES:**

- DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION. REMAINING WALLS, SEVERALS AND INDIVIDUAL BUILDING ORIENTATIONS AND DRAMA TO INSURE THAT OUTFLOW FROM DOWNSPOUTS IS THE INTENT OF THE ARCHITECT THAT GUTTERS DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES.
- THE ARCHITECT'S INTENT IS TO PROVIDE A MINIMUM OF 2' CLEARANCE FROM THE BUILDING TO THE DOWNSPOUTS AND GUTTERS. DOWNSPOUTS TO BE SHOWN AND SEATED BY A REGISTERED ENGINEER.
- ROOF VENT CALCULATIONS HAVE BEEN PROVIDED TO SHOW THE REQUIRED VENT.
- DOWNSPOUTS TO BE SHOWN AND SEATED BY A REGISTERED ENGINEER.
- ROOF DRAINAGE PROVIDED WITHIN 4" OF EXPOSED 2" DRAIN PIPE WALL.
- ALL ATTICS TO BE SPRINKLERED PER CITY REQUIREMENTS.



**1 BUILDING B - SECTION A - ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**SCALE: 3/32" = 1'-0"**



	WATER INDICATING BOARD
	HEAVY DUTY JOINT
	NO FLOOR INDICATIONS
	JOINT REPAIR WALL
	SCAFFOLD
	CHOCROT
	ADDITIONAL PLATE LINE
	ADDITIONAL PLATE LINE
	ADDITIONAL PLATE LINE
	ADDITIONAL PLATE LINE
	ADDITIONAL PLATE LINE
	ADDITIONAL PLATE LINE
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	ADDITIONAL PLATE LINE

[illegible]

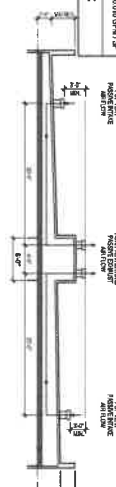


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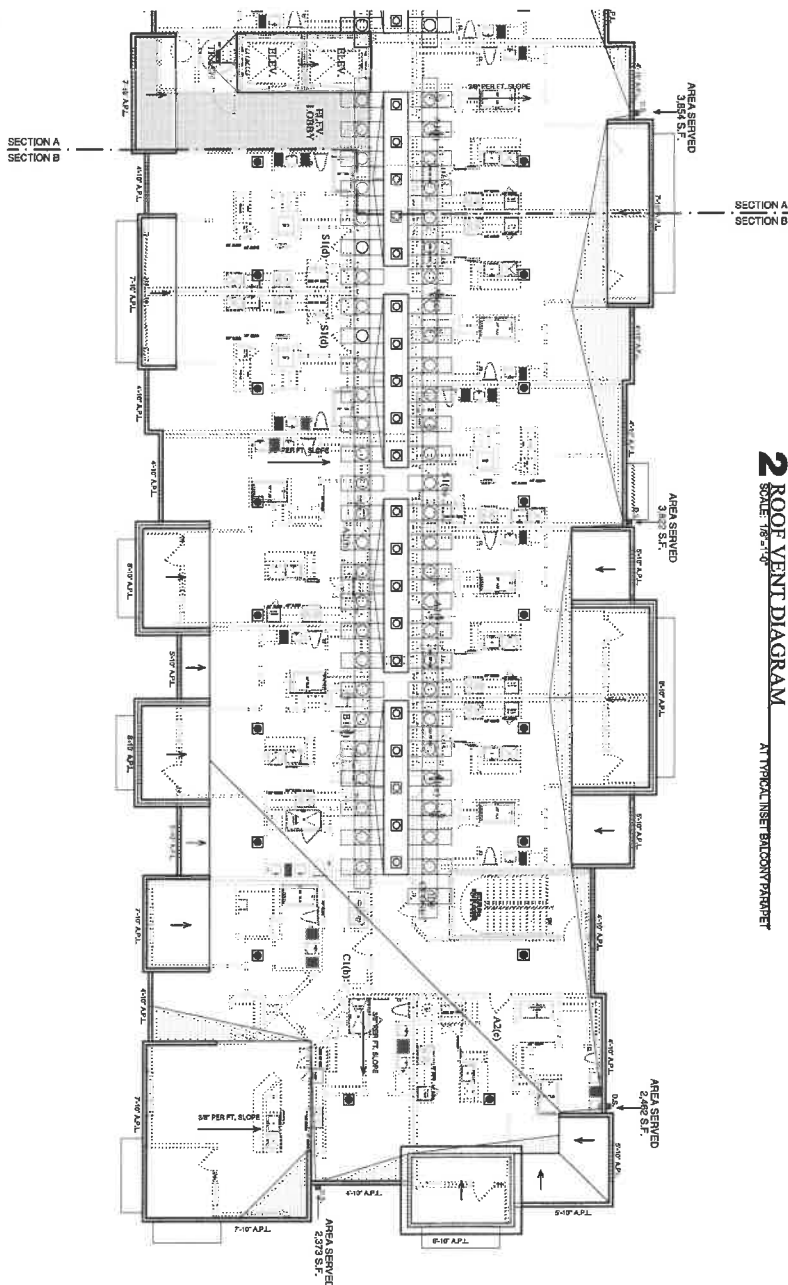
## 2 ROOF VENT DIAGRAM

BUILDING BOARD ROOM CALCULATIONS		
DOWNSPOUT PROVIDED	3" x 4"	100%
AREA OF DOWNSPOUT	12 SQ IN	12,596 SQ IN
QUALITY PER MINUTE	183,552 CFM	162 CFM
MANUAL ROOF AREA PER DOWNSPOUT	11,460 SF	
LAS VEGAS, NEVADA	0.016 CFM / SF (2016 APPENDIX D - TABLE D10.1)	
PROJECTED TOTAL	126 SQ IN (3" x 106 SQ IN)	126 SQ IN (3" x 106 SQ IN)
STATUS	OK	OK

BUILDING B ROOF VENTILATIONS	
0.386 SQ. FT.	1) = AREA OF SLOPED ROOF
0.793/28 SQ. IN.	2) = NET FREE VENTILATED
4.692 SQ. IN. - HIGH VENT	3) 1/4" (44) (200) = $y$
4.692 SQ. IN. - LOW VENT	4) = NET FREE VENTILATED AREA/2
24 VENTS (4.696 SQ. IN. PROVIDED)	HIGH VENT / 144
24 VENTS (4.696 SQ. IN. PROVIDED)	LOW VENT / 144

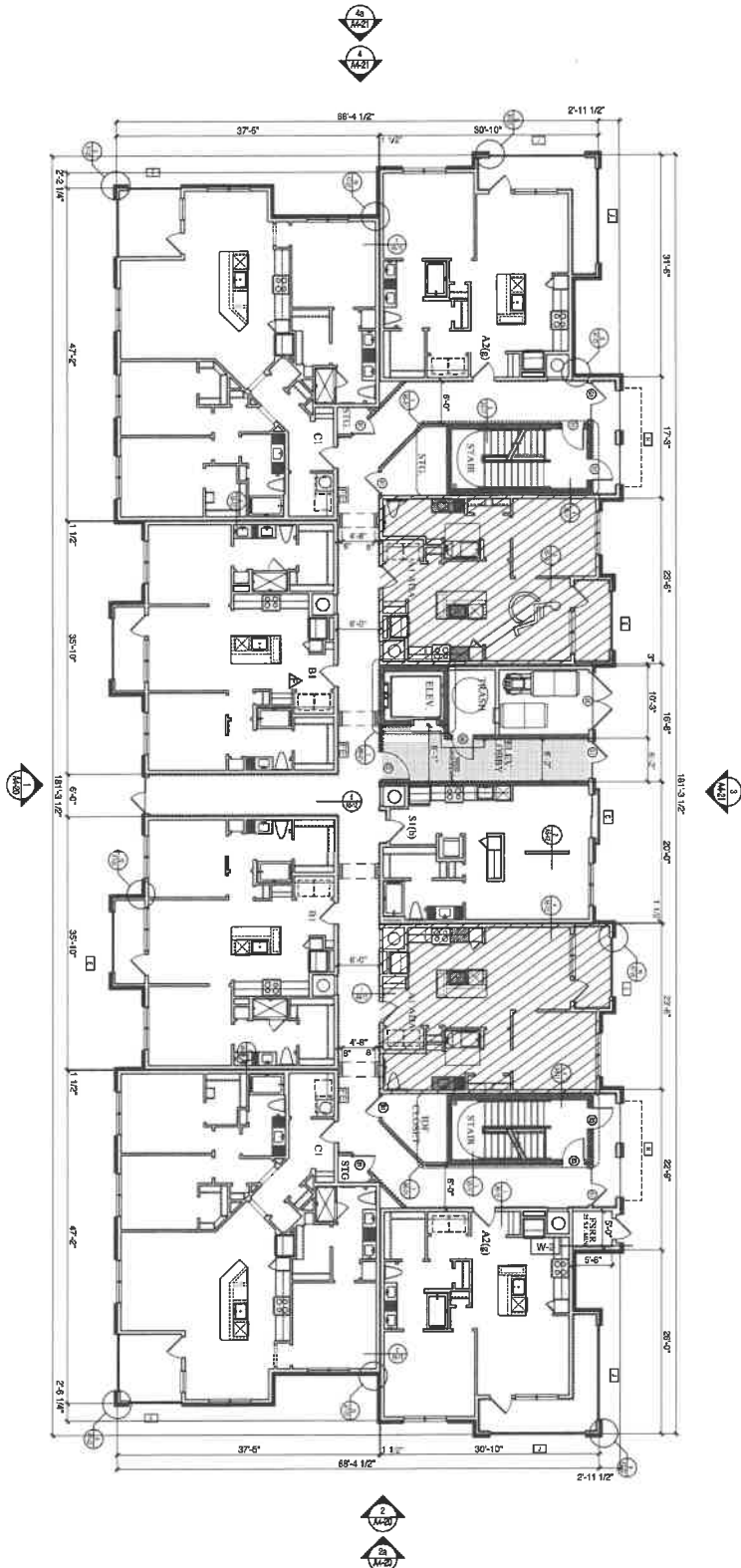


ROOF LEGEND:	
	HATCH INDICATES ROOF
	WALLS AND PARTIAL
	WALLS - 3/8" OC
	WALLS - 1/2" OC
	WALLS - 5/8" OC
	WALLS - 1" OC
	WALLS - 1 1/2" OC
	WALLS - 2" OC
	WALLS - 3" OC
	WALLS - 4" OC
	WALLS - 6" OC
	WALLS - 8" OC
	WALLS - 10" OC
	WALLS - 12" OC
	WALLS - 14" OC
	WALLS - 16" OC
	WALLS - 18" OC
	WALLS - 20" OC
	WALLS - 22" OC
	WALLS - 24" OC
	WALLS - 26" OC
	WALLS - 28" OC
	WALLS - 30" OC
	WALLS - 32" OC
	WALLS - 34" OC
	WALLS - 36" OC
	WALLS - 38" OC
	WALLS - 40" OC
	WALLS - 42" OC
	WALLS - 44" OC
	WALLS - 46" OC
	WALLS - 48" OC
	WALLS - 50" OC
	WALLS - 52" OC
	WALLS - 54" OC
	WALLS - 56" OC
	WALLS - 58" OC
	WALLS - 60" OC
	WALLS - 62" OC
	WALLS - 64" OC
	WALLS - 66" OC
	WALLS - 68" OC
	WALLS - 70" OC
	WALLS - 72" OC
	WALLS - 74" OC
	WALLS - 76" OC
	WALLS - 78" OC
	WALLS - 80" OC
	WALLS - 82" OC
	WALLS - 84" OC
	WALLS - 86" OC
	WALLS - 88" OC
	WALLS - 90" OC
	WALLS - 92" OC
	WALLS - 94" OC
	WALLS - 96" OC
	WALLS - 98" OC
	WALLS - 100" OC

[illegible]

# **BUILDING C - FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MATERIAL LEGEND**

	BRICK
	PERFORATED LATH STUCCO
	STUCCO

**PLAN LEGEND:**

	DOOR KEY		TRIM
	RELOCATED		FIRE PARTITION
	METAL JAMING		AC/LINE
	FLOOR SIGN		AVC LIFT
	FIRE EXTINGUISHER		ELEVATOR

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

7. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

9. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

<b>A3-21</b>   BUILDING C   FIRST FLOOR	DATE: 07-23-2021   PROJECT: 20186	ISSUED: 07-23-2021	<b>CINE APARTMENTS</b>   2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030   <b>SONOMA HOUSING</b>	REVISIONS:
	4155 EXCEL PARKWAY ADDISON, TX 75001   214.520.9878   heeb.com			

ALL ELEVATION DIMENSIONS TO MATCH RENDERING IN STAFF REPORT  
SPR-200006-2020

DATE: 07-23-2021  
PROJECT: 20186  
SHEET NUMBER: A4-13  
BUILDING 8 ELEVATIONS

4 BUILDING TYPE 'B'  
SCALE: 1/8" = 1'-0"



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ISSUED  
07-23-2021

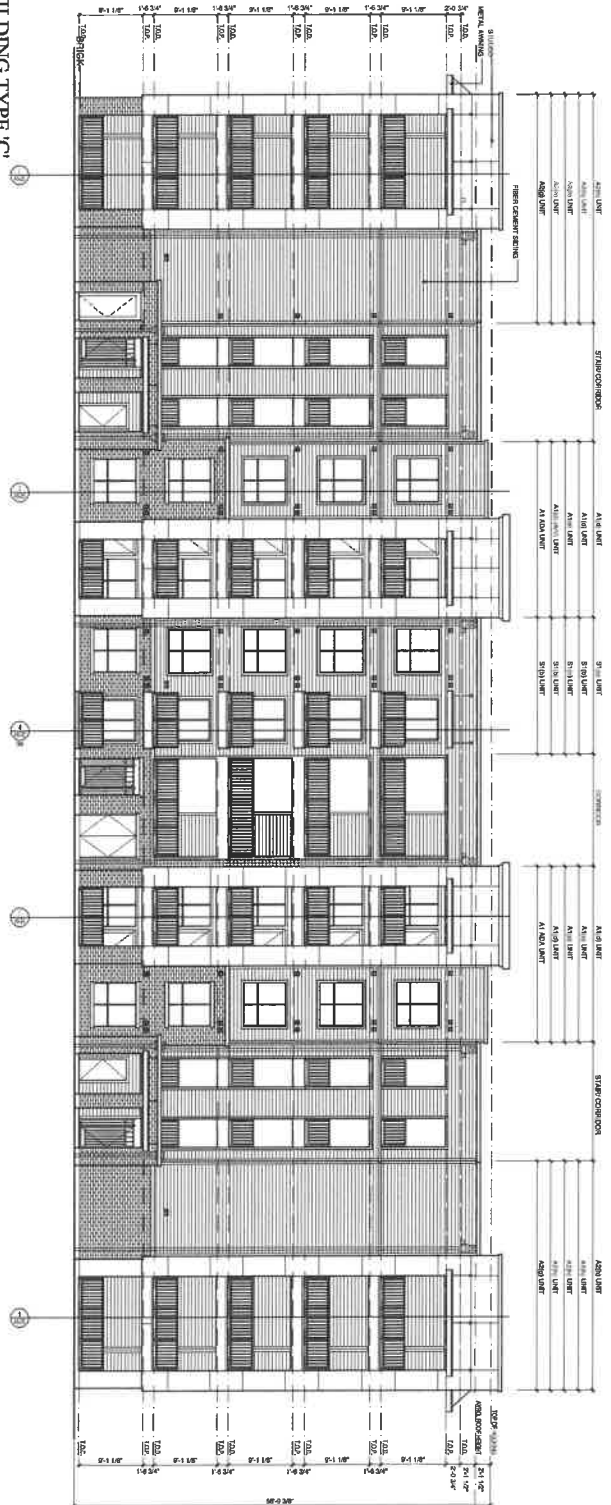
**CINE APARTMENTS**  
2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030  
**SONOMA HOUSING**

REVISIONS

BLADING C - ELEVATION OPENING PERCENTAGE	
MATERIAL	64%
OPENING	36%

**3 BUILDING TYPE 'C'**  
SCALE: 1/8" = 1'-0"

1-07



## REVISIONS

[illegible]

**CINE APARTMENTS**  
2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030  
**SONOMA HOUSING**

2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030  
SONOMA HOUSING

ISSUED  
07-23-2021



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DATE 07-23-2021

PROJECT  
20186

SHEET NUMBER

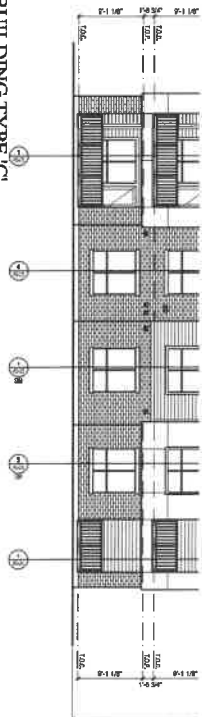
# A4-21

**4 BUILDING TYPE 'C'**  
SCALE: 1/8" = 1'-0"

 $\sigma = 1.05$ [illegible]

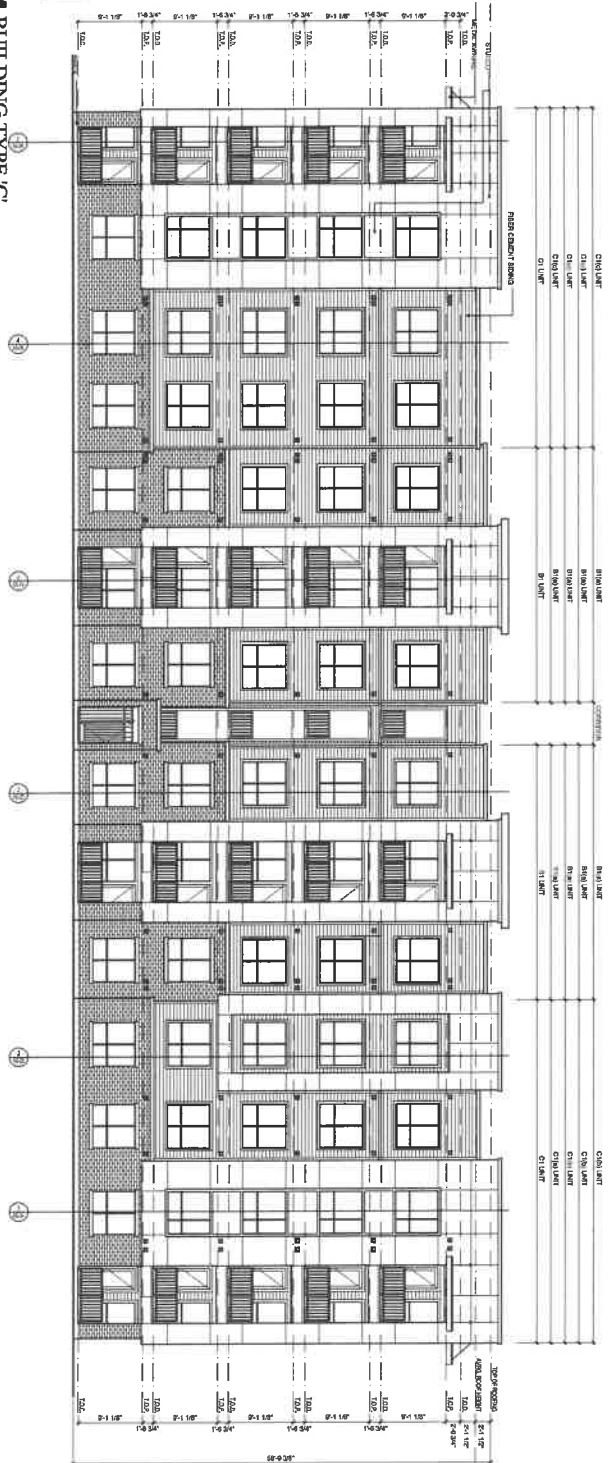
**4a** BUILDING TYPE 'C'  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-000006-2020

BUILDING TYPE - ELEVATION	67%
CHANGING PORO (MAD)	33%



**1 BUILDING TYPE 'C'**  
SCALE: 1/8" = 1'-0"

**SCALE: 1/8" = 1'-0"**

C100 UNIT	4500 UNIT
C180 UNIT	4500 UNIT
D710 UNIT	4500 UNIT
D16A UNIT	4500 UNIT
D1 UNIT	4500 UNIT

FIBER CEMENT SIDING



**2 BUILDING TYPE 'C'**  
SCALE: 1/8" = 1'-0"

**SCALE: 1/8" = 1'-0"**

BUILDING 45 - ELEVATION OPENING PERCENTAGE	
MATERIAL	68%
OF GLASS	20%



**2a** BUILDING TYPE 'C'  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-000006-2020



## 5 BUILDING TYPE 'A'

SCALE: 1/8" = 1'-0"

BUILDING TYPE 'A' ELEVATION  
UNIT TYPES AND FINISHES  
SEE ELEVATION 'A'

ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-200803282

BUILDING TYPE 'A' ELEVATION  
UNIT TYPES AND FINISHES  
SEE ELEVATION 'A'

## 6 BUILDING TYPE 'A'

SCALE: 1/8" = 1'-0"



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DATE  
07-23-2021  
PROJECT  
20186  
SHEET NUMBER  
A4-02  
BUILDING A  
ELEVATIONS

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07-23-2021

**CINE APARTMENTS**  
2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030  
**SONOMA HOUSING**

REVISIONS

# 1 BUILDING TYPE 'B'

SCALE: 1/8" = 1'-0"

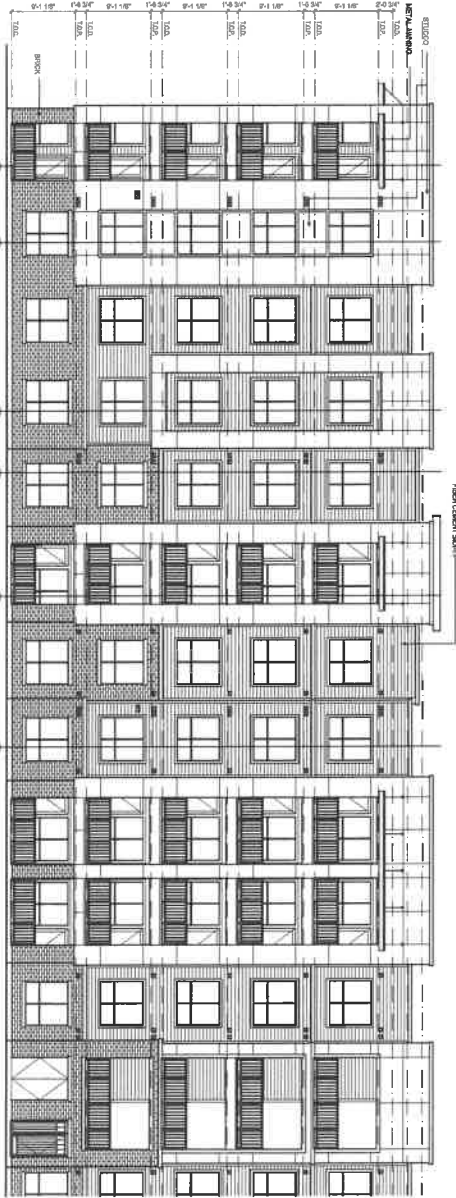


C1A UNIT	B1A UNIT	A1A UNIT	A1B UNIT	COMMON
C1B UNIT	B1B UNIT	A1C UNIT	A1D UNIT	
C1C UNIT	B1C UNIT	A1E UNIT	A1F UNIT	
C1D UNIT	B1D UNIT	A1G UNIT	A1H UNIT	

RAISING B' ELEVATION  
DATE: 07-23-2021  
PROJECT: 20186  
SHEET: 105-140

# 1a BUILDING TYPE 'B'

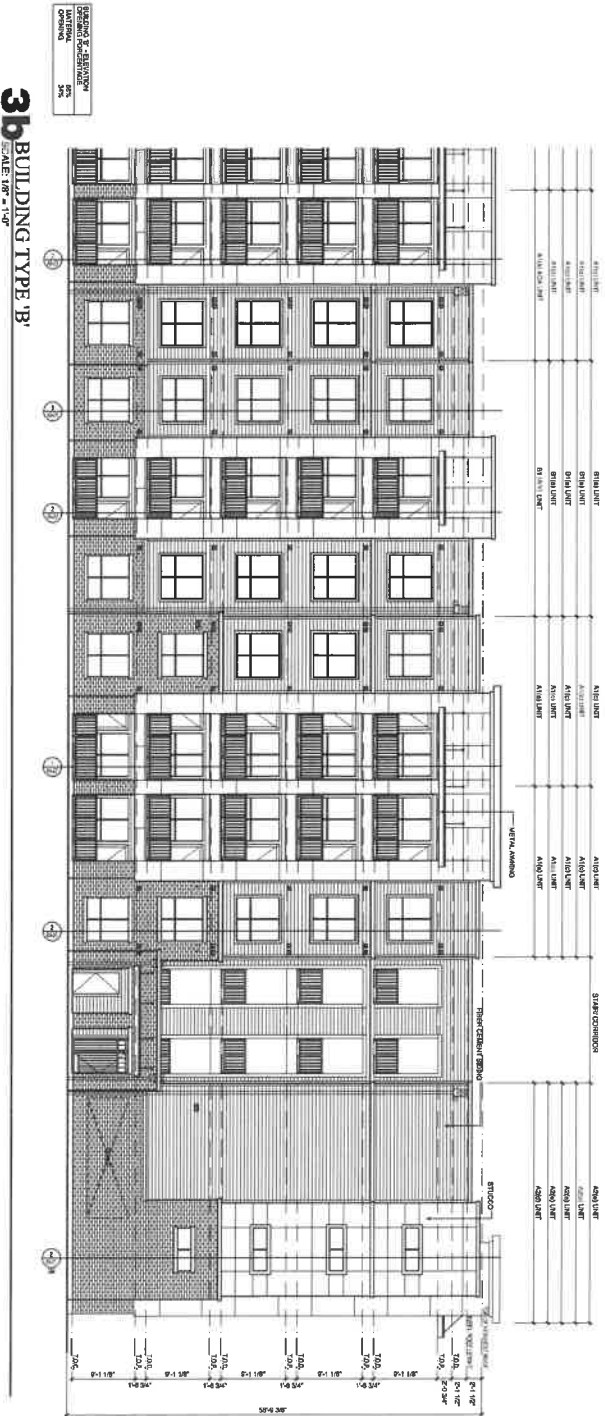
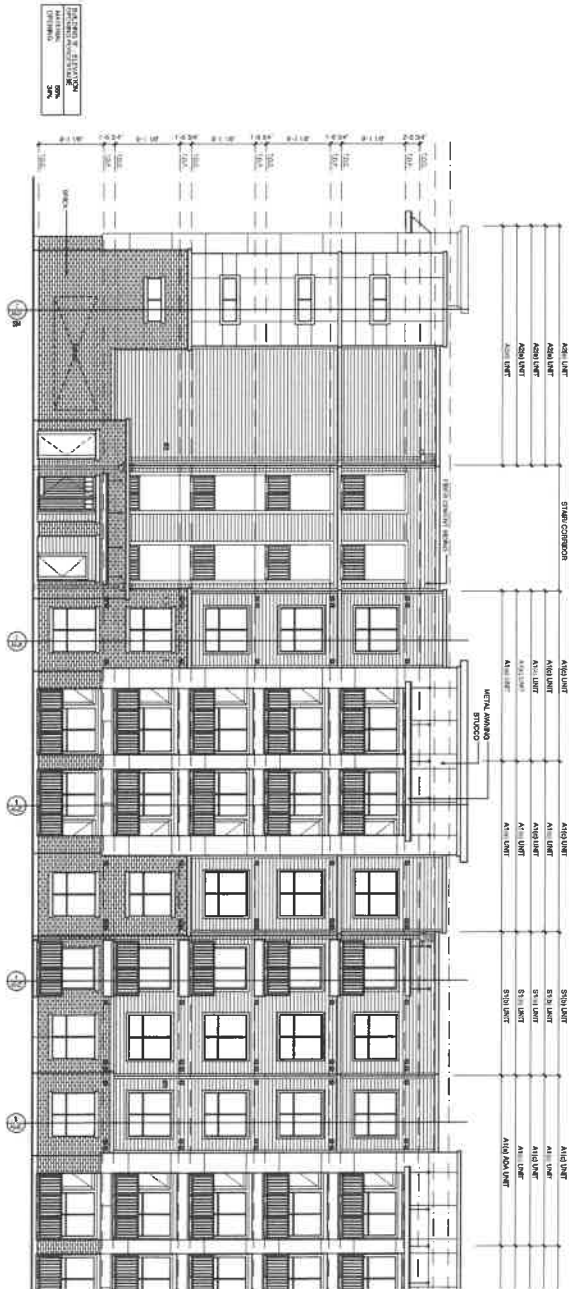
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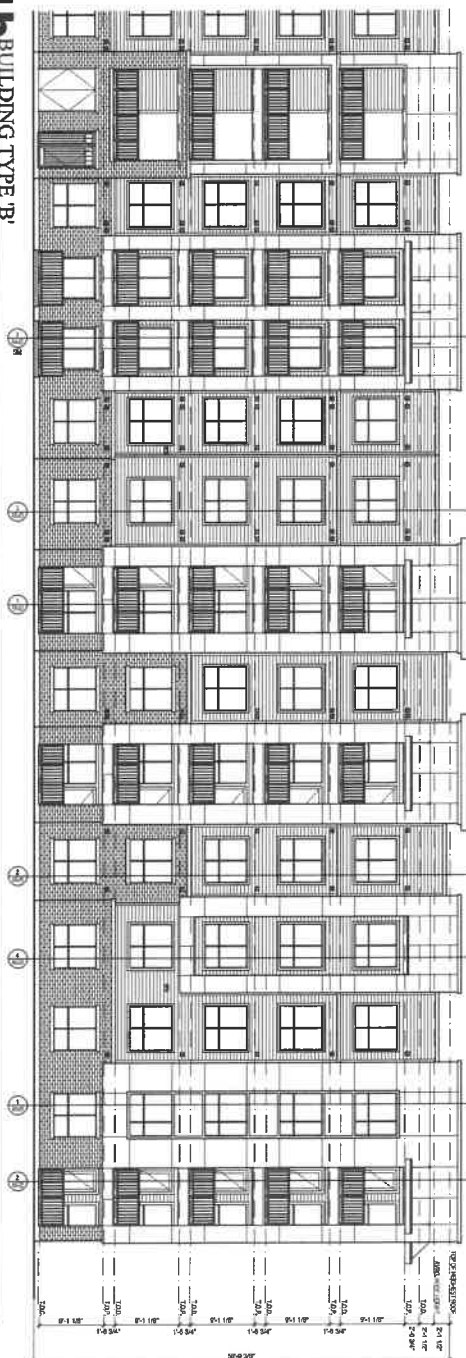
ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-000006-2020

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DATE 07-23-2021   PROJECT 20186   SHEET NUMBER A4-10   BUILDING ELEVATIONS	ISSUED 07-23-2021	<b>HEDK</b> ARCHITECTS   4595 EXCEL PARKWAY ADDISON, TX 75001 214.520.6878 hedk.com	<b>CINE APARTMENTS</b>   2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030   <b>SONOMA HOUSING</b>	REVISIONS  <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION																											
				NO.	DATE	DESCRIPTION																												

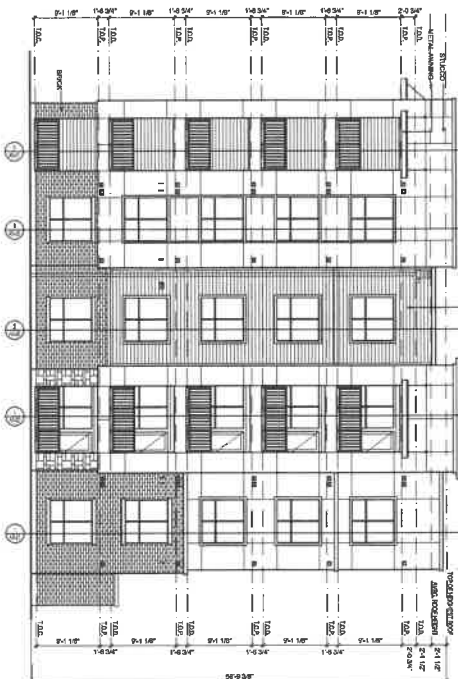


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21-1-10-211	21-1-10-212	21-1-10-213	21-1-10-214	21-1-10-215	21-1-10-216
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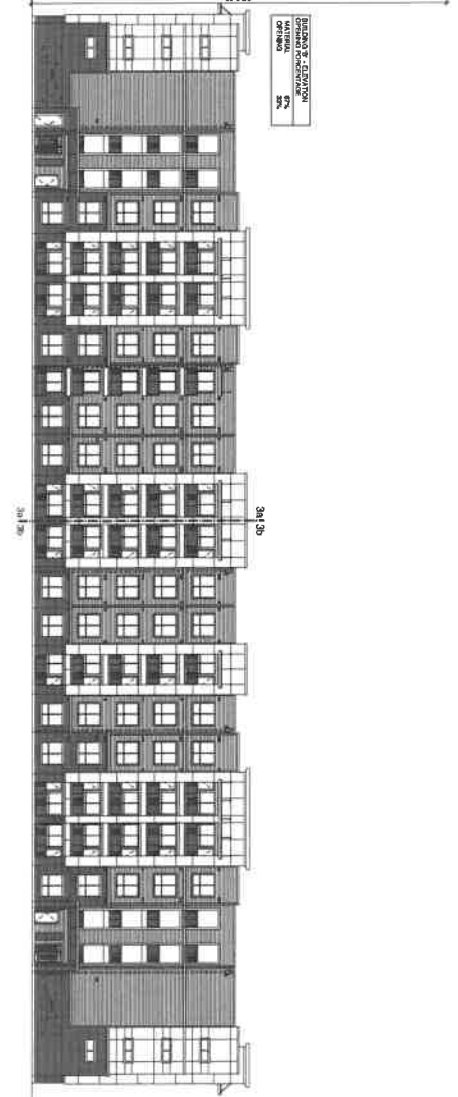
**1b** BUILDING TYPE 'B'  
SCALE 1/8" = 1'-0"

C10c UNIT	Alum UNIT
C11c UNIT	Alum UNIT
C12c UNIT	Alum UNIT
C10d UNIT	Alum UNIT
C11d UNIT	Alum UNIT
C12d UNIT	Alum UNIT



## 2 BUILDING TYPE 'B'

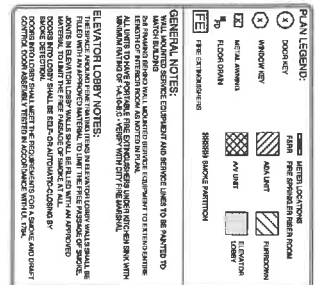
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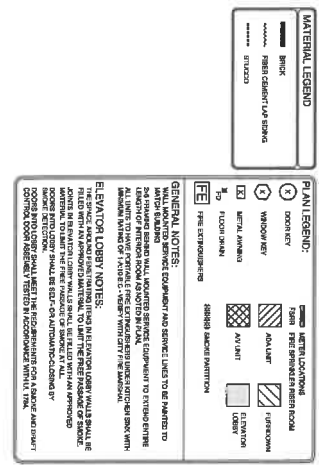
**3 BUILDING TYPE 'B'**  
SCALE: 1/16" = 1'-0"

ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-000005-2020





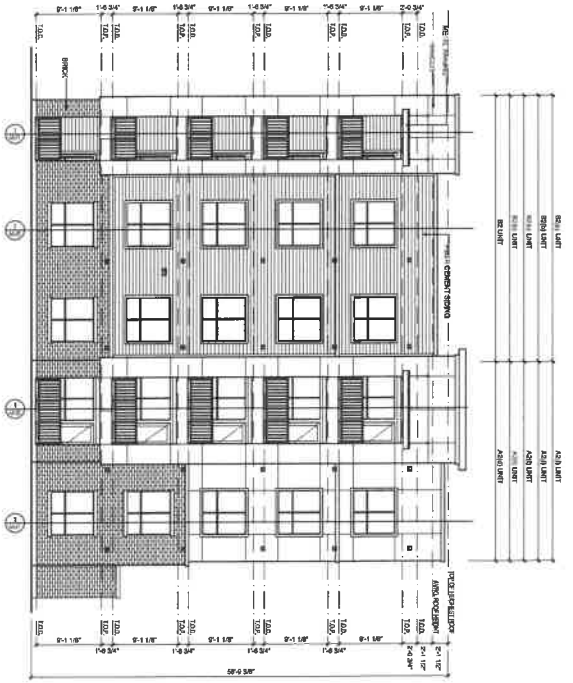
A3-22 BUILDING C SECOND FLOOR		SHEET NUMBER 20186	PROJECT 20186	DATE 07-23-2021	 4595 EXCEL PARKWAY ADDISON, TX 75001 214-220-8878	ISSUED 07-23-2021	CINE APARTMENTS  2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030 SONOMA HOUSING	REVISIONS
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A3-23 BUILDING C THIRD FLOOR		SHEET NUMBER 201 BE	PROJECT 07-23-2021	DATE	 4595 FICEL PARKWAY ADDISON, TX 75001 214.520.8678 hedck.com	ISSUED 07-23-2021	CINE APARTMENTS  2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030 SONOMA HOUSING	REVISIONS
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ALL ELEVATION COLORS TO MATCH RENDERING IN STAFF REPORT  
SPR-200006-2020

BUILDING A, ELEVATION  
BUILDING A, ELEVATION  
BUILDING A, ELEVATION  
BUILDING A, ELEVATION



3 BUILDING TYPE 'A'  
SCALE: 1/8" = 1'-0"

BUILDING A, ELEVATION  
BUILDING A, ELEVATION  
BUILDING A, ELEVATION  
BUILDING A, ELEVATION



4 BUILDING TYPE 'A'  
SCALE: 1/8" = 1'-0"

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A4-01 BUILDING A ELEVATIONS		PROJECT 20186	DATE 07-23-2021	ISSUED 07-22-2021	CINE APARTMENTS 2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030 SONOMA HOUSING		REVISIONS	
SHEET NUMBER		PROJECT		DATE		REVISIONS		
20186		07-23-2021		07-22-2021				

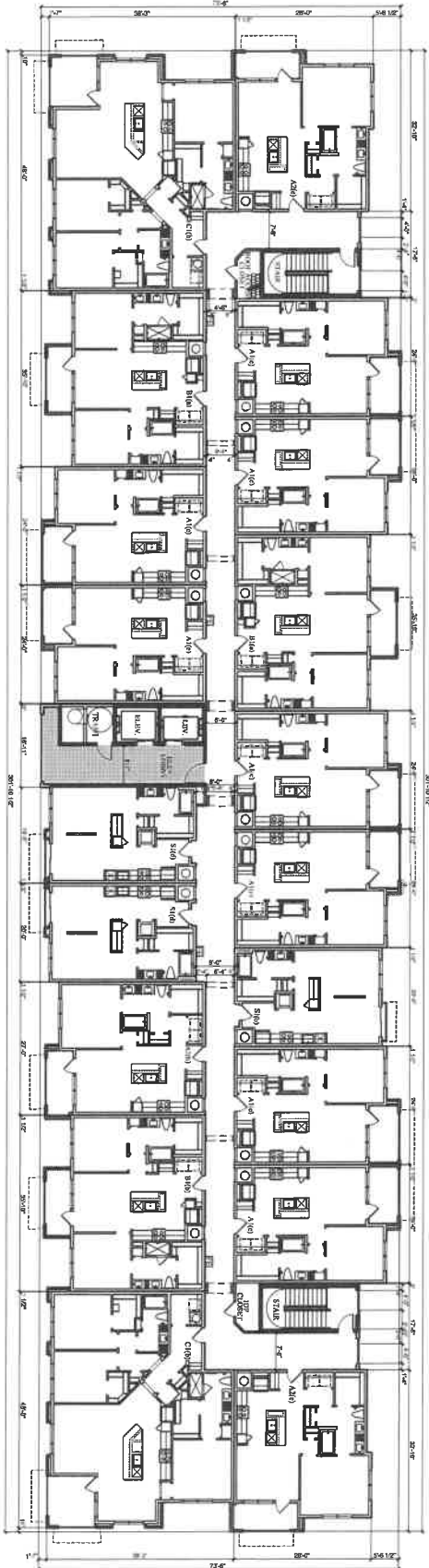
HEIN ARCHITECTS

4595 EXCEL PARKWAY ADDISON, TX 75001  
214.520.8978

**1 BUILDING TYPE 'A'**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"





**1** BUILDING B - FIFTH FLOOR PLAN  
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	THIN CONCRETE LIFT SLAB
	STUCCO

PLAN LEGEND:	
	ROOM KEY
	KITCHEN
	BATH
	BEDROOM
	LIVING AREA
	STAIRWELL
	ELEVATOR
	CLOSET
	STORAGE AREA
	SMOKE IN ATTIC

**GENERAL NOTES:**  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
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9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.  
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.

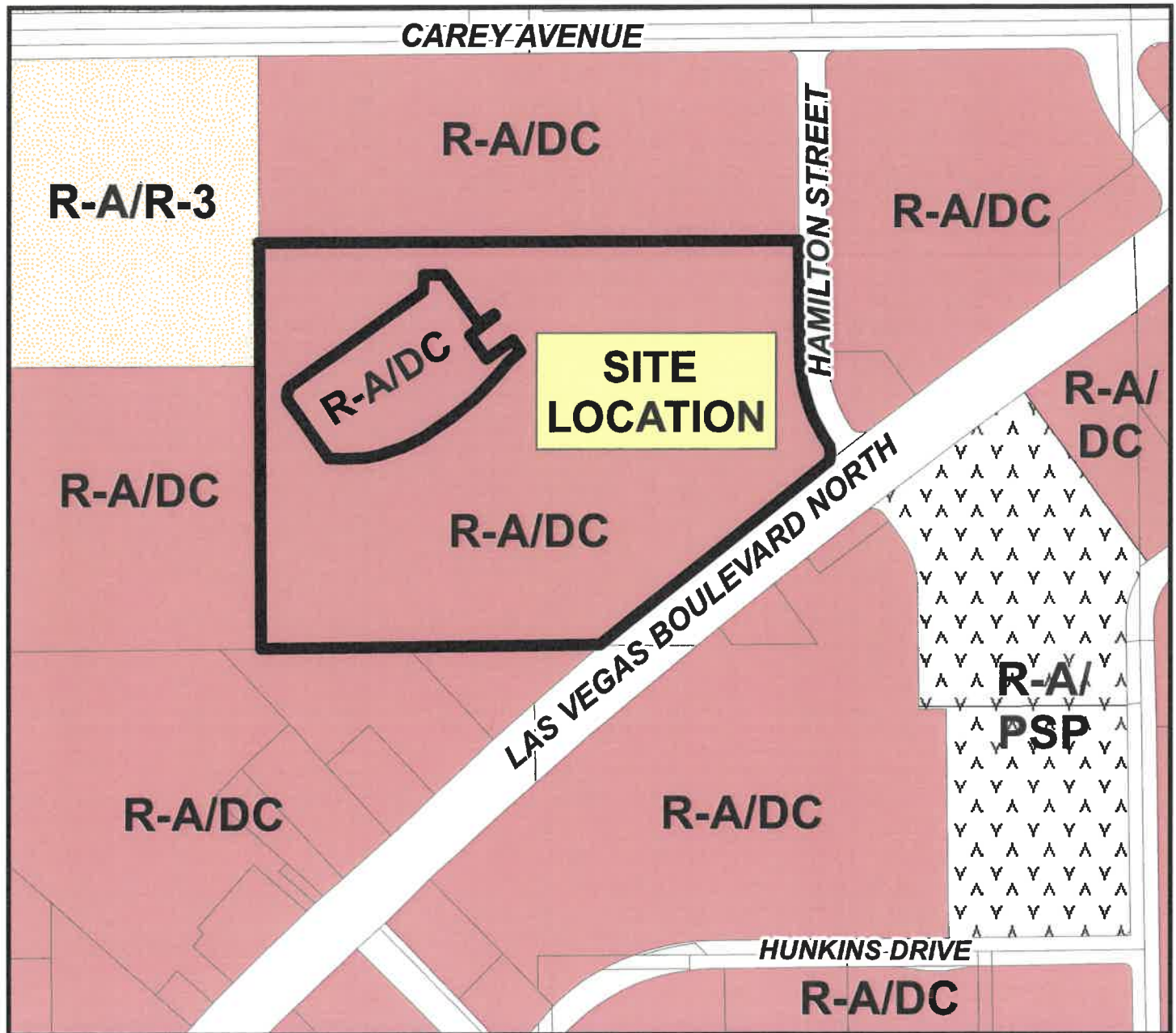
DATE 07-23-2021   PROJECT 20186   SHEET NUMBER A3-15   BUILDING B FIFTH FLOOR	<b>H&amp;K</b> ARCHITECTS   4595 EXCEL PARKWAY ADDISON, TX 75001 214.520.6878 h&amp;k.com	ISSUED 07-23-2021	<b>CINE APARTMENTS</b>   2293 HAMILTON ST., NORTH LAS VEGAS, NV 89030   <b>SONOMA HOUSING</b>	REVISIONS
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# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



Applicant: Scott Zell  
Application: Site Plan Review  
Request: To Allow a 270-Unit, Multi-Family Development  
Project Info: Northwest corner of Las Vegas Boulevard North and Hamilton Street  
Case Number: SPR-07-2021

8/25/2021

