

ORDINANCE NO. 3063

AN ORDINANCE RELATED TO ZONING; RECLASSIFYING APPROXIMATELY 28.6+ ACRES IN THE ZONING MAP OF NORTH LAS VEGAS FROM A C-2, GENERAL COMMERCIAL DISTRICT TO A PUD, PLANNED UNIT DEVELOPMENT DISTRICT (ZN-27-2020, ORCHARD CANYON) CONSISTING OF APPROXIMATELY 19 ACRES, FOR A 98-LOT SINGLE-FAMILY SUBDIVISION AND APPROXIMATELY 9.6 ACRES FOR A COMMERCIAL DEVELOPMENT CONTAINING A CONVENIENCE FOOD STORE WITH GAS PUMPS FOR PROPERTY LOCATED AT THE NORTHWEST CORNER OF TROPICAL PARKWAY AND LAMB BOULEVARD AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

WHEREAS, the rezoning is consistent with the Comprehensive Plan; and

WHEREAS, the Council determines that the amendment will not adversely affect the health and general welfare; and,

WHEREAS, according to Paragraph B of Section 70 of Chapter 12 of Title 17 of the North Las Vegas Municipal Code, the City Council may, by ordinance, reclassify property.

NOW THEREFORE, the City Council of the City of North Las Vegas does ordain:

SECTION 1: In accordance with the provisions of Ordinance No. 3063, the following described parcel of land shall be reclassified as follows:

FROM C-2, GENERAL COMMERCIAL DISTRICT TO PUD, PLANNED UNIT DEVELOPMENT DISTRICT (ZN-27-2020), THE FOLLOWING PROPERTY DESCRIBED TO WIT:

PARCEL 1:

A PART OF THE NORTHEAST QUARTER (NE ¼) OF THE SOUTHEAST QUARTER (SE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 62 EAST, M.D.M., CLARK COUNTY, NEVADA:

BEGINNING AT A POINT ON THE WEST LINE OF LAMB BOULEVARD AS IT IS DEDICATED AT 50.00 FOOT HALF-WIDTH BEING 971.51 FEET NORTH 0°00'59" WEST ALONG THE SECTION LINE AND 50.01 FEET SOUTH 89°05'32" WEST FROM THE EAST QUARTER CORNER OF SAID SECTION 30; AND RUNNING THENCE SOUTH 89°05'32" WEST 193.05 FEET; THENCE SOUTH 0°00'59" EAST, 249.50 FEET; THENCE SOUTH 89°05'32" WEST 455.00 FEET TO THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 30; THENCE NORTH 0°02'41" EAST 595.00 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF AZURE AVENUE AS IT IS DEDICATED AT 30.00 FOOT HALF-WIDTH; THENCE NORTH 89°05'32" EAST 592.57 FEET ALONG SAID SOUTH LINE OF AZURE AVENUE TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG THE ARC OF A 54.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 85.66 FEET (CENTRAL ANGLE EQUALS 90°53'30" AND LONG CHORD BEARS SOUTH 45°27'43" EAST 76.96 FEET) TO A POINT OF TANGENCY ON THE WEST LINE OF LAMB BOULEVARD AS IT IS DEDICATED AT

50.00 FOOT HALF-WIDTH; THENCE ALONG SAID WEST LINE OF LAMB BOULEVARD THE FOLLOWING THIRTEEN COURSES: SOUTH 0°00'59" EAST 0.55 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 3.56 FEET (CENTRAL ANGLE EQUALS 10°12'28" AND LONG CHORD BEARS SOUTH 5°05'15" WEST 3.56 FEET) TO A POINT OF TANGENCY; SOUTH 10°11'29" WEST 51.96 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 30.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 5.35 FEET (CENTRAL ANGLE EQUALS 10°12'28" AND LONG CHORD BEARS SOUTH 5°05'15" WEST 5.34 FEET) TO A POINT OF TANGENCY; SOUTH 0°00'59" EAST 65.00 FEET; SOUTH 89°59'01" WEST 3.00 FEET; SOUTH 0°00'59" EAST 5.00 FEET; NORTH 89°59'01" EAST 3.00 FEET; SOUTH 0°00'59" EAST 10.00 FEET TO A POINT OF CURVATURE; SOUTHEASTERLY ALONG THE ARC OF A 30.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 8.96 FEET (CENTRAL ANGLE EQUALS 17°06'52" AND THE LONG CHORD BEARS SOUTH 8°34'25" EAST 8.93 FEET) TO A POINT OF TANGENCY; SOUTH 17°07'51" EAST 26.46 FEET TO A POINT OF CURVATURE; SOUTHEASTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 5.97 FEET (CENTRAL ANGLE EQUALS 17°06'52" AND LONG CHORD BEARS SOUTH 8°34'25" EAST 5.95 FEET) TO A POINT OF TANGENCY; AND SOUTH 0°00'59" EAST 110.09 FEET TO THE POINT OF THE BEGINNING.

PARCEL 2:

A PART OF THE SOUTHEAST QUARTER (SE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 62 EAST, M.D.M., CLARK COUNTY, NEVADA:

BEGINNING AT A POINT ON THE WEST LINE OF LAMB BOULEVARD AS IT IS DEDICATED AT 50.00 FOOT HALF-WIDTH BEING 971.51 FEET NORTH 0°00'59" WEST ALONG THE SECTION LINE AND 50.01 FEET SOUTH 89°05'32" WEST FROM THE EAST QUARTER CORNER OF SAID SECTION 30; AND RUNNING THENCE ALONG SAID WEST LINE OF LAMB BOULEVARD THE FOLLOWING SIX COURSES: SOUTH 0°00'59" EAST 367.17 FEET; SOUTH 1°15'24" WEST 225.06 FEET; SOUTH 0°00'59" EAST 87.55 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 95.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 30.17 FEET (CENTRAL ANGLE EQUALS 18°11'41" AND LONG CHORD BEARS SOUTH 9°04'52" WEST 30.04 FEET) TO A POINT OF REVERSE CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 105.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 33.34 FEET (CENTRAL ANGLE EQUALS 18°11'41" AND LONG CHORD BEARS SOUTH 9°04'52" WEST 33.20 FEET) TO A POINT OF TANGENCY; AND SOUTH 0°00'59" EAST 121.46 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG THE ARC OF A 54.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 83.95 FEET (CENTRAL ANGLE EQUALS 89°04'42" AND LONG CHORD BEARS SOUTH 44°31'22" WEST 75.75 FEET) TO A POINT OF TANGENCY ON THE NORTH LINE OF TROPICAL PARKWAY AS IT IS DEDICATED AT 55.00 FOOT HALF-WIDTH; THENCE ALONG SAID NORTH LINE OF TROPICAL PARKWAY THE FOLLOWING FIFTEEN COURSES: SOUTH 89°03'43" WEST 1.46 FEET TO A POINT OF CURVATURE; NORTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 3.56 FEET (CENTRAL ANGLE EQUALS 10°12'28" AND LONG CHORD BEARS NORTH 85°50'03" WEST 3.56 FEET) TO A POINT OF TANGENCY; NORTH 80°43'49" WEST 51.96 FEET TO A POINT OF CURVATURE; NORTHWESTERLY ALONG THE ARC OF A 30.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 5.35 FEET (CENTRAL ANGLE EQUALS 10°12'28" AND LONG CHORD BEARS NORTH 85°50'03" WEST 5.34 FEET) TO

A POINT OF TANGENCY; SOUTH 89°03'43" WEST 65.00 FEET; NORTH 0°56'17" WEST 3.00 FEET; 89°03'43" WEST 5.00 FEET; SOUTH 0°56'17" EAST 3.00 FEET; SOUTH 89°03'43" WEST 10.00 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 30.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE IF 8.96 FEET (CENTRAL ANGLE EQUALS 17°06'52" AND LONG CHORD BEARS SOUTH 80°30'17" WEST 8.93 FEET) TO A POINT OF TANGENCY; SOUTH 71°56'51" WEST 26.46 FEET TO A POINT OF CURVATURE; SOUTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 5.97 FEET (CENTRAL ANGLE EQUALS 17°06'52" AND LONG CHORD BEARS SOUTH 80°30'17" WEST 5.95 FEET) TO A POINT OF TANGENCY; SOUTH 89°03'43" WEST 90.00 FEET; SOUTH 87°47'20" WEST 225.06 FEET; AND SOUTH 89°03'43" WEST 403.02 FEET; THENCE NORTH 0°06'20" EAST 623.79 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE NORTH 89°04'37" EAST 321.11 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE NORTH 0°02'41" EAST 48.70 FEET ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE NORTH 89°05'32" EAST 455.00 FEET; THENCE NORTH 0°00'59" WEST 249.50 FEET; THENCE NORTH 89°05'32" EAST 193.05 FEET TO THE WEST LINE OF LAMB BOULEVARD AND THE POINT OF BEGINNING.

PARCEL 3:

A PART OF THE SOUTHWEST QUARTER (SW ¼) OF THE SOUTHEAST QUARTER (SE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 62 EAST, M.D.M., CLARK COUNTY, NEVADA:

BEGINNING AT A POINT ON THE NORTH LINE OF TROPICAL PARKWAY AS IT IS DEDICATED AT 50.00 FOOT HALF-WIDTH BEING 1020.65 FEET SOUTH 89°03'43" WEST ALONG THE QUARTER SECTION LINE AND 50.01 FEET NORTH 0°06'20" EAST FROM THE EAST QUARTER CORNER OF SAID SECTION 30; AND RUNNING THENCE SOUTH 89°03'43" WEST 377.00 FEET ALONG SAID NORTH LINE OF TROPICAL PARKWAY TO THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE NORTH 0°06'20" EAST 623.89 FEET ALONG SAID NORTH LINE TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE NORTH 89°04'37" EAST 377.00 FEET ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30; THENCE SOUTH 0°06'20" WEST 623.79 FEET TO THE NORTH LINE OF SAID TROPICAL PARKWAY AND THE POINT OF BEGINNING.

SECTION 2: The Planned Unit Development District (PUD) herein is subject to the development standards and requirements of the North Las Vegas Municipal Code as well as the following conditions of approval:

1. Unless expressly authorized through a variance, waiver or another approved method, this development shall comply with all applicable codes and ordinances.

2. Amenities shall be provided within the open space areas; at a minimum the following amenities shall be provided: age appropriate playground equipment with EPDM surfacing; turfed open play areas; shaded picnic areas; and dog stations.
3. Final Development Plans are required for the residential and commercial components.
4. C-2, General Commercial District uses for the commercial portion of the PUD, Planned Unit Development are allowed with approval of a Final Development Plan.
5. All known geologic hazards shall be shown on the preliminary development plan, tentative map and the civil improvement plans. Geological hazards such as fault lines or fissures affecting residential structures may substantially alter the tentative map layout and require the submission of a revised tentative map which must be approved by the City prior to final approval of the civil improvement plans. The footprint of proposed structures shall be plotted on all lots impacted by faults and/or fissures and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
6. Approval of a drainage study is required prior to submittal of the civil improvement plans.
7. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.
8. The property owner is required to grant roadway easements where public and private streets intersect.
9. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way.
10. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040. Conformance may require modifications to the site.
11. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1 and 222.
12. Dedication and construction of the following streets and/or half streets is required per the *Master Plan of Streets and/or Highways* and *City of North Las Vegas Municipal Code* section 16.24.100:
 - a. Lamb Boulevard (sidewalk)
 - b. Azure Avenue

c. Tropical Boulevard

13. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
14. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
15. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.
16. All offsite improvements must be complete prior to final inspection of the first home/building.

SECTION 3: NON-INFRINGEMENT OF RIGHTS. The City Council of the City of North Las Vegas has been informed by the City Attorney as to the constitutionality of this ordinance and based upon such information we are adopting this ordinance in good faith with a reasonable belief that the actions taken by the City of North Las Vegas are not in violation of any rights, privileges, or immunities secured by the laws providing for equal rights of citizens or persons.

SECTION 4: SEVERABILITY. If any section, paragraph, clause or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall in no way affect the validity and enforceability of the remaining provisions of this Ordinance.

SECTION 5: EFFECTIVE DATE. This Ordinance shall become effective after its passage by the City Council of the City of North Las Vegas and, after such passage by the City Council, publication once by title in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

SECTION 6: PUBLICATION. The City Clerk shall cause this Ordinance, immediately following its adoption, to be published once by title, together with the names of the Councilmen voting for or against passage, in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

PASSED AND ADOPTED THIS 17th day of March, 2021.

AYES: Mayor Lee, Mayor Pro Tempore Barron, Council Members Black, Cherchio, and Goynes-Brown

NAYS: None

ABSTAIN: None

ABSENT: None

APPROVED:



JOHN J. LEE, MAYOR

ATTEST:



CATHERINE A. RAYNOR, MMC
CITY CLERK

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Amy Michaels, Principal Planner, Land Development & Community Services
From: Robert Weible, Land Development Project Leader, Department of Public Works
Subject: FDP 04-2021 **Orchard Canyon**
Date: April 20, 2021

The Department of Public Works recommends that this item comply with the conditions of approval for ZN 27-2020.



Robert Weible, Land Development Project Leader
Department of Public Works



March 25, 2021

City of North Las Vegas
Current Planning Department Staff
2250 N. Las Vegas Blvd., Suite 114
North Las Vegas, Nevada 89030

**RE: Richmond American Homes of Nevada – Orchard Canyon (Tropical and Lamb)
Final Development Plan - Letter of Intent
APNs: 123-30-601-013, 014 & 015**

Dear City Staff,

On behalf of our client, Richmond American Homes of Nevada, we respectfully submit this Letter of Intent for the subject project requesting a Final Development Plan review with Current Planning.

Richmond American Homes of Nevada proposes a single-family residential subdivision at the NWC of Tropical Parkway and Lamb Boulevard (APN: 123-30-601-013, 014 & 015). The approximate 19.0± acre site is currently vacant, undeveloped land zoned General Commercial (C-2). Azure Avenue abuts the northern boundary of the project. The proposed Centennial and Lamb Unit 1 subdivision is located across Azure Avenue. Existing residential development, the Tropical Walnut-Unit 3 and Tropical Walnut-Unit 2 subdivisions border the western perimeter of the site, separated by an existing 6± foot screen wall. Tropical Parkway abuts the southern boundary of the project. The Runvee Hobart East Parcel 3A-1 subdivision and a vacant parcel (APN:123-30-701-001) are located across Tropical Parkway. Lamb Boulevard abuts the project to the east. The Lamb and Tropical subdivision is located across Lamb Boulevard.

The proposed project includes a Final Development Plan from General Commercial (C-2) to Planned Unit Development (PUD). The proposed project features an approximate 19.0± acre residential subdivision, consisting of ninety-eight (98) single-family residential units with a minimum square footage of 5,250 square feet, measured 50-feet by 105-feet. The maximum lot size is 11,802 square feet and the resulting density for the subdivision is 5.2± du/ac. Setbacks for the residential subdivision shall comply with the requirements established for the R-CL Single-Family Compact Lot Residential District.

The residential subdivision provides approximately 17,680 square feet of open space. Furthermore, approximately 11,080 square feet of the provided open space is focused within one area accessible to all residents within the development for usable open space. The open space provided satisfies the R-CL requirements per the City of North Las Vegas Municipal Code – Title 17.24.020-2. Open space and perimeter amenities shall be shown on the final development plans. The following amenities will be provided:

1. One (1) covered tot lot with play structure for children and EDM resilient fall protection or one (1) shaded ramada with a minimum dimension of 12' x 12', or a splash pad.
2. Picnic tables, benches, dog stations and barbeque area(s).
3. Perimeter landscaped areas shall contain benches and dog stations.

The proposed landscape design will be consistent with the surrounding area. All landscaping will comply with the approved Southern Nevada Regional Plant List.

The residential subdivision will provide four (4) unique models as required by City of North Las Vegas Municipal Code, each model will offer four (4) unique elevations. The homes range in size from 1,741 square feet to 2,161 square feet and are single-story. The homes will provide a patio and covered patio option as required. All models provide front entry garages. The homes meet the intent of code by providing stucco exteriors, earth tone colors, and concrete tile roofs. Furthermore, the elevations of all homes feature staggered sections and recessed features to provide a varied appearance along the streetscape. All four sides of each elevation provide additional detailing and trim.

Access to the development will be provided by proposed driveways off Tropical Parkway and Azure Avenue. The main entry to the residential subdivision will be an independent driveway with gated access off Tropical Parkway. The residential subdivision will also have a secondary, residents-only and emergency access gated entry off the shared driveway connecting to Azure Avenue. The proposed project will provide a minimum of 15 feet of landscape buffer along Tropical Parkway and Azure Avenue. Offsite improvements for the Tropical Parkway and Azure Avenue frontages are currently in process with the City of North Las Vegas, CNLV No. 69499.

Site improvements will comply with City of North Las Vegas Municipal Code - Titles 15 and 16, NRS 278 and accepted Clark County Area Uniform Standard Drawings. Improvements include paving, landscaping, curb, gutter, sidewalk, underground utilities, accessibility, and positive drainage.

There are no Right-of-Way (ROW) vacations anticipated with this development.

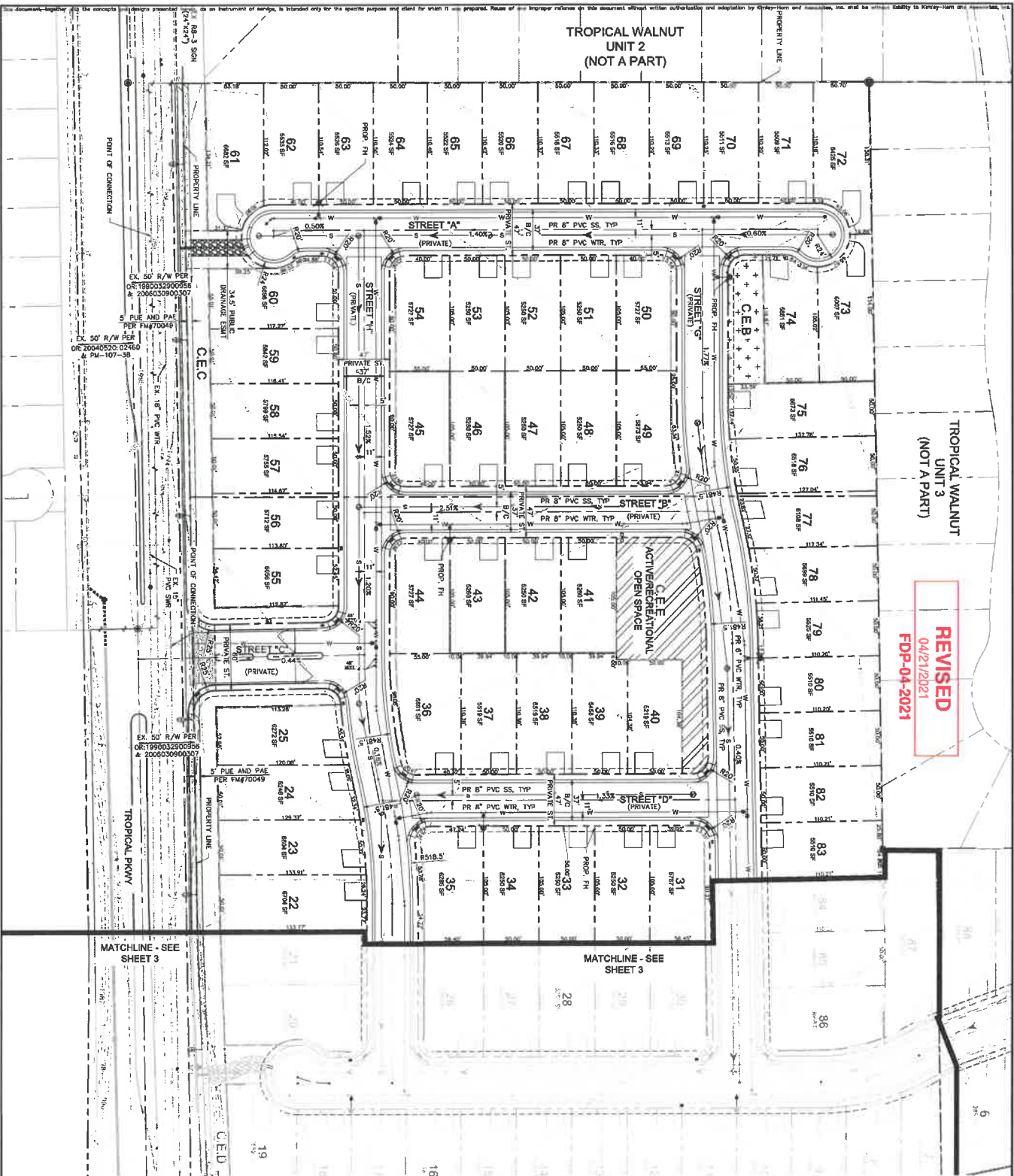
We look forward to working with Current Planning to achieve a favorable recommendation for this project. Please do not hesitate to contact me at (702) 623-7233 if you have any questions or require any additional information.

Sincerely,
Kimley-Horn and Associates



Eric Hopkins, P.E.
Project Engineer
Owner/Developer Correspondent

CC: Angela Pinley, Richmond American Homes of Nevada

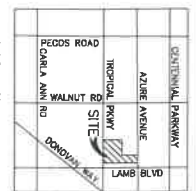


REVISED
04/21/2021
FDP-04-2021

LEGEND

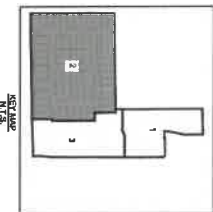
- LOT LINE
- PROPERTY BOUNDARY
- PROD. RIGHT OF WAY
- PROD. WATER LINE
- PROD. SEWER LINE
- EX. WATER LINE
- EX. SEWER LINE
- EX. CONDUIT
- EX. FIBER
- CONCRETE PENDANT
- OPEN SPACE
- USUAL OPEN SPACE

YICINITY MAP



BENCHMARK

BENCHMARK
BENCH MARK NO. 1111111111, SET IN THE TOP OF CORNER LOCATED AT THE INTERSECTION OF TROPICAL CANYON AND WALNUT CANYON, CLARK COUNTY, NEVADA, AS SHOWN BY THE CLARK COUNTY RECORDS, CLARK COUNTY, NEVADA.
ELEVATION = 668.7 METERS
BASIS OF BEARING
NORTH 89°34'47" EAST, BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 12, T4N, R10E, S4, CLARK COUNTY, NEVADA, AS SHOWN BY THE CLARK COUNTY RECORDS, CLARK COUNTY, NEVADA.



SITE PLAN

ORCHARD CANYON
PREPARED FOR
RICHMOND AMERICAN

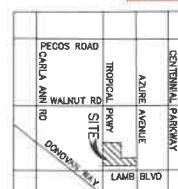
CITY OF NORTH LAS VEGAS NEVADA

KHA PROJECT
291400018
DATE
12/17/2020
SCALE AS SHOWN
DESIGNED BY EN
DRAWN BY IC
CHECKED BY EN
















Kimley-Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
6671 LAS VEGAS BOULEVARD, SUITE 320
LAS VEGAS, NV 89118
WWW.KIMLEY-HORN.COM
PHONE 702-862-3600

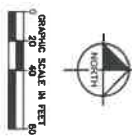
NO.	REVISIONS	DATE	BY



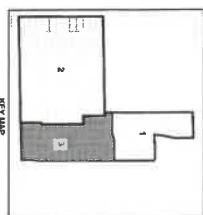
VICINITY MAP
N.T.S.

LEGEND

- | | |
|---|----------------------|
|  | LOT LINE |
|  | CENTERLINE |
|  | PROPERTY BOUNDARY |
|  | PAVED RIGHT OF WAY |
|  | PROPOSED WATER LINE |
|  | PROPOSED SEWER LINE |
|  | ELECTRIC WATER LINE |
|  | ELECTRIC CONDUIT |
|  | EXISTING HYDRAUNT |
|  | LOT NUMBER |
|  | CONCRETE PAVEMENT |
|  | OPEN SPACE |
|  | UTILITIES OPEN SPACE |



GRAPHIC SCALE IN FEET
0 20 40 60



KEY MAP
N.T.S.

ORCHARD CANYON
PREPARED FOR
RICHMOND AMERICAN

CITY OF NORTH LAS VEGAS NEVADA

KHA PROJECT	291400016
DATE	12/17/2020
SCALE	AS SHOWN
DESIGNED BY	ET
DRAWN BY	H
CHECKED BY	ET



Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
8571 LAS VEGAS BOULEVARD S., SUITE 320
LAS VEGAS, NV 89119
WWW.KIMLEY-HORN.COM
PHONE 702-862-3600

No.	REVISIONS	DATE	BY

LANDSCAPE ARCHITECTURE:

SUNSTATE STUDIOS



LANDSCAPE ARCHITECTURE
& LAND PLANNING
93101 E Craig Rd., Las Vegas, NV 89030
702.798.1776
www.sunstatestudios.com

PROJECT:

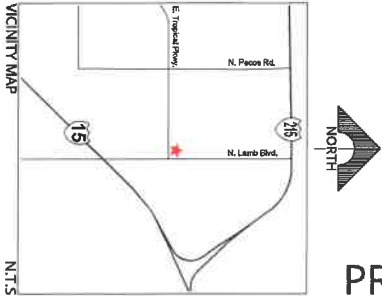
Orchard Canyon
Tropical Parkway and Lamb Blvd.
North Las Vegas, NV 89081

DEVELOPER:

Richmond American Homes
7770 S. Dean Martin Drive, Suite 308
Las Vegas, NV 89139

SHEET INDEX:

SHEET NO.	DRAWING NO.	SHEET TITLE
1	LA-0	Cover Sheet
2	LA-1	Overall Plan
3-6	LA-2 to LA-5	Construction Plan
7-9	LA-6 to LA-8	Construction Details & Notes
10-17	LA-9 to LA-16	Planting Plan
18	LA-17	Planting Details, Legend & Notes
19-26	LA-18 to LA-25	Irrigation Plan
27-28	LA-26 to LA-27	Irrigation Details, Legend & Notes



PROGRESS SET - NOT FOR CONSTRUCTION

Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 806728

SHEET TITLE
Cover Sheet

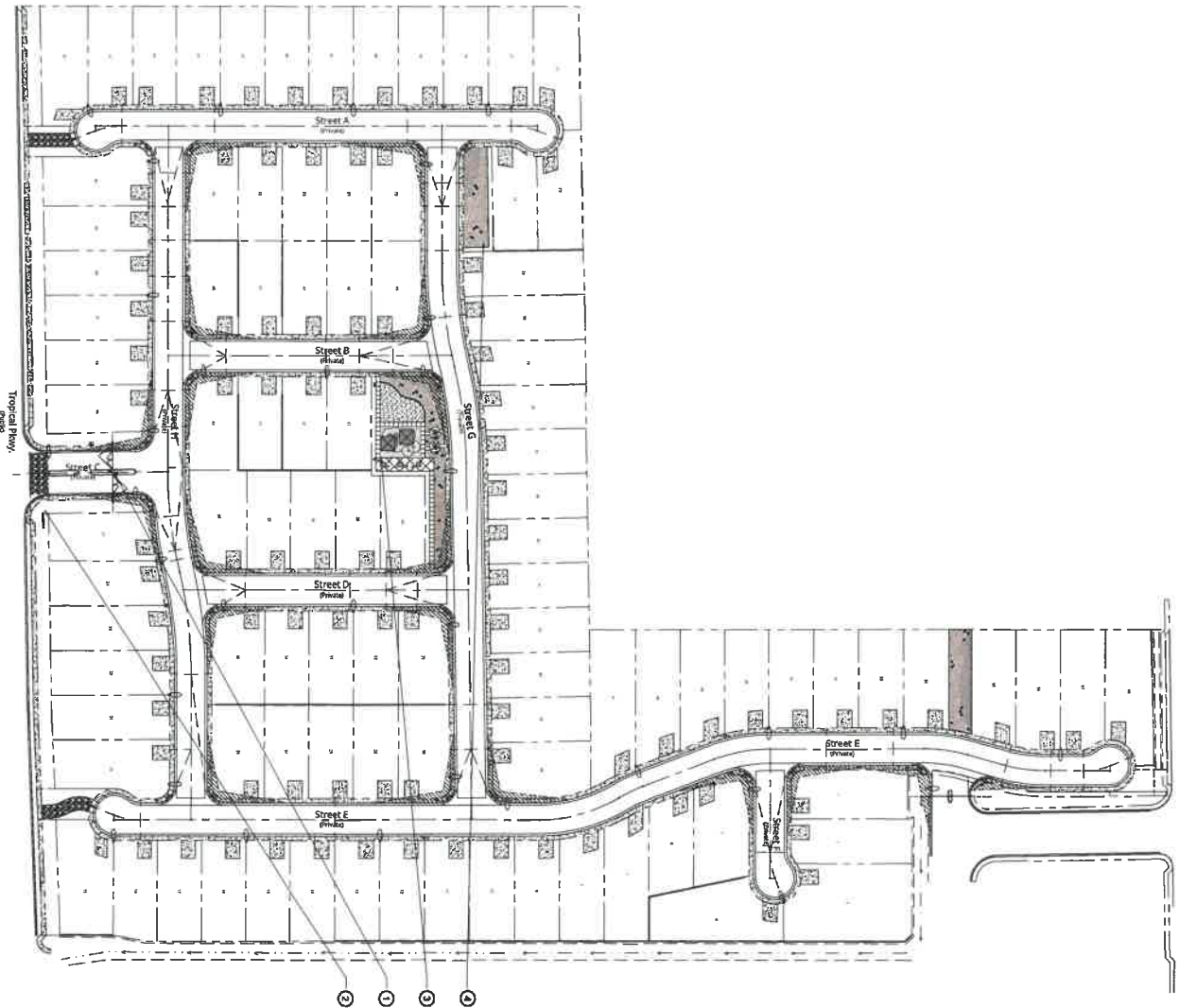
Rev.	Date	Description
1	03-05-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139

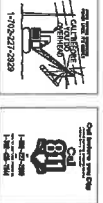


SUNSTATE STUDIOS
LANDSCAPE ARCHITECTURE
& LAND PLANNING
93101 E Craig Rd., Las Vegas, NV 89030
702.798.1776
www.sunstatestudios.com





6/27/2021, 10:00 AM
 PLANT MATERIAL LOCATIONS WITH THE RIGHT VISIBILITY ZONES WILL
 BE SHOWN IN THE VISIBILITY ZONES WILL



Scale: N.T.S.
 Date Drawn: 03-05-2021
 Drawn by: GS
 Designed by: TT
 Approved by: TT
 Project #: 500728

SHEET TITLE
Overall Plan

REVISIONS	
No.	Description
1	03-05-2021 10:00 AM #0000

PROJECT NAME
Orchard Canyon
 Streetscape & Common Area
 Richmond American Homes
 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



SUNSTATE STUDIOS
 LANDSCAPE ARCHITECTURE
 & LAND PLANNING
 13101 E.C. Ave. #100, Las Vegas, NV 89139
 702.798.1776
 www.sunstatestudios.com

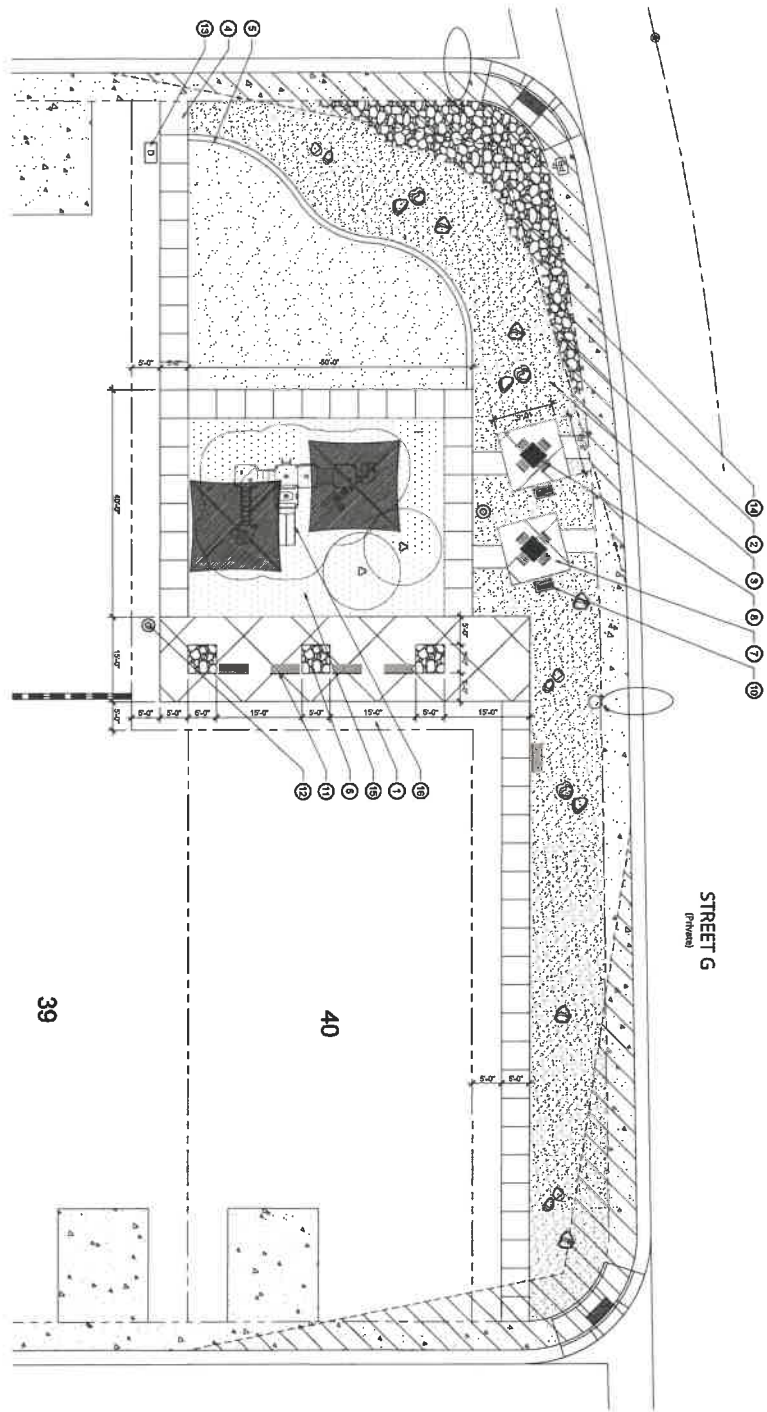
SITE AMENITIES

- PER WASTE EJECTION
- PARK BENCH
- PICNIC TABLE
- PARK GRILL
- TRASH RECEPTACLE

LEGEND

- 1 COMMUNITY ENTRANCE WITH GATE AND CALL BOX
- 2 COMMUNITY MONUMENT SIGN
- 3 COMMUNITY PARK AND PLAYGROUND WITH SEATING AREA
- 4 POOL AND PLAYGROUND WITH SEATING AREA

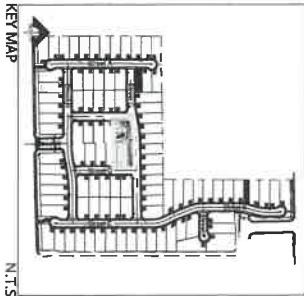
PROGRESS SET - NOT FOR CONSTRUCTION



MATERIAL LEGEND

	3/4\" GRANITE ROCK MULCH -	2,485 SQFT
	2\" DECORATIVE LANDSCAPE ROCK -	608 SQFT
	1\" GRAVEL	2,104 SQFT
	SAFETY SURFACE	1,678 SQFT
	SCOURED LAWN	1,524 SQFT
	3\" LANDSCAPE BOULDER -	13 EA
	TRASH RECEPTACLE -	2 EA
	PARK BENCH -	5 EA
	PET WASTE STATION -	1 EA
	PAVING TABLE -	5 EA
	BELSON MODEL REST	

5042 PER CIVIL ENGINEERING & LAND
PLAN MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY ZONES WALL
RECOMMENDED 1\"/>



Scale: 1"=10'-0"
0" 10' 20'

PROGRESS SET - NOT FOR CONSTRUCTION

KEYNOTES

1	3/4" ROCK MULCH	LA-7	4
2	2" DECORATIVE LANDSCAPE ROCK	LA-7	4
3	1" GRAVEL	LA-7	4
4	5" CONCRETE SIDEWALK WITH REINFORCES PER PLAN	LA-7	4
5	3" CONCRETE SIDEWALK WITH REINFORCES PER PLAN	LA-7	4
6	IN-GROUND CONCRETE PLANTER	LA-7	4
7	CONCRETE PAD	LA-7	4
8	MEDIUM BROOM FINISH PAVING TABLE	LA-7	4
9	CONCRETE PAVING WITH BROOM FINISH	LA-7	4
10	FEDERAL GRILL	LA-7	4
11	PARK BENCH	LA-7	4
12	TRASH RECEPTACLE	LA-7	4
13	PET WASTE STATION	LA-7	4
14	CONCRETE SIDEWALK PER CIVIL ENGINEER PLANS	LA-7	4
15	SAFETY SURFACE	LA-7	4
16	PLAYGROUND	LA-7	4
17	RIGHT VISIBILITY ZONE (R/VZ) PER CIVIL ENGINEER PLANS	LA-7	4

Scale: 1"=10'-0"
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 300728

SHEET TITLE
Construction Plan

REVISIONS

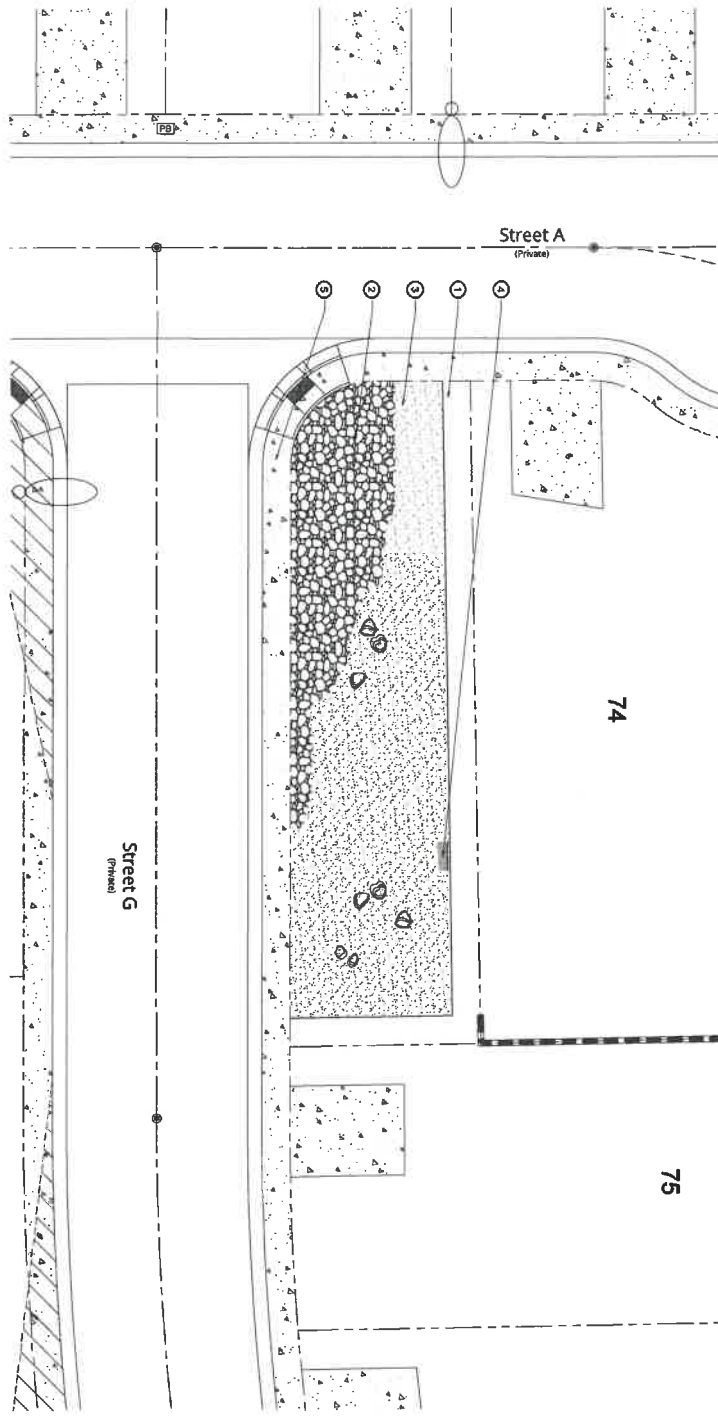
No.	Date	Description
01	03-24-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr., Suite #308 Las Vegas NV 89139



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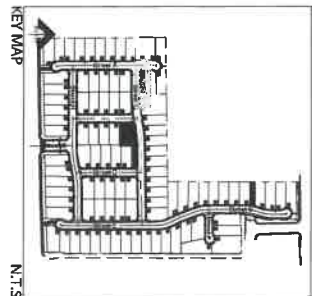
MATERIAL LEGEND

	3/4\"/>	725 SOFT
	2-4\"/>	888 SOFT
	1/8\"/>	2,166 SOFT
	2-4\"/>	8 EA
	PARK BENCH	1 EA
	BELSON, MODEL, FEETZ	

KEYNOTES

①	3/4\"/>	LA-7	4
②	2-4\"/>	LA-7	4
③	1/8\"/>	LA-7	4
④	PARK BENCH	LA-7	4
⑤	CONCRETE SIDEWALK PER CIVIL ENGINEER PLANS		
⑥	SOFT VISIBILITY ZONE GRASS PER CIVIL ENGINEER PLANS		

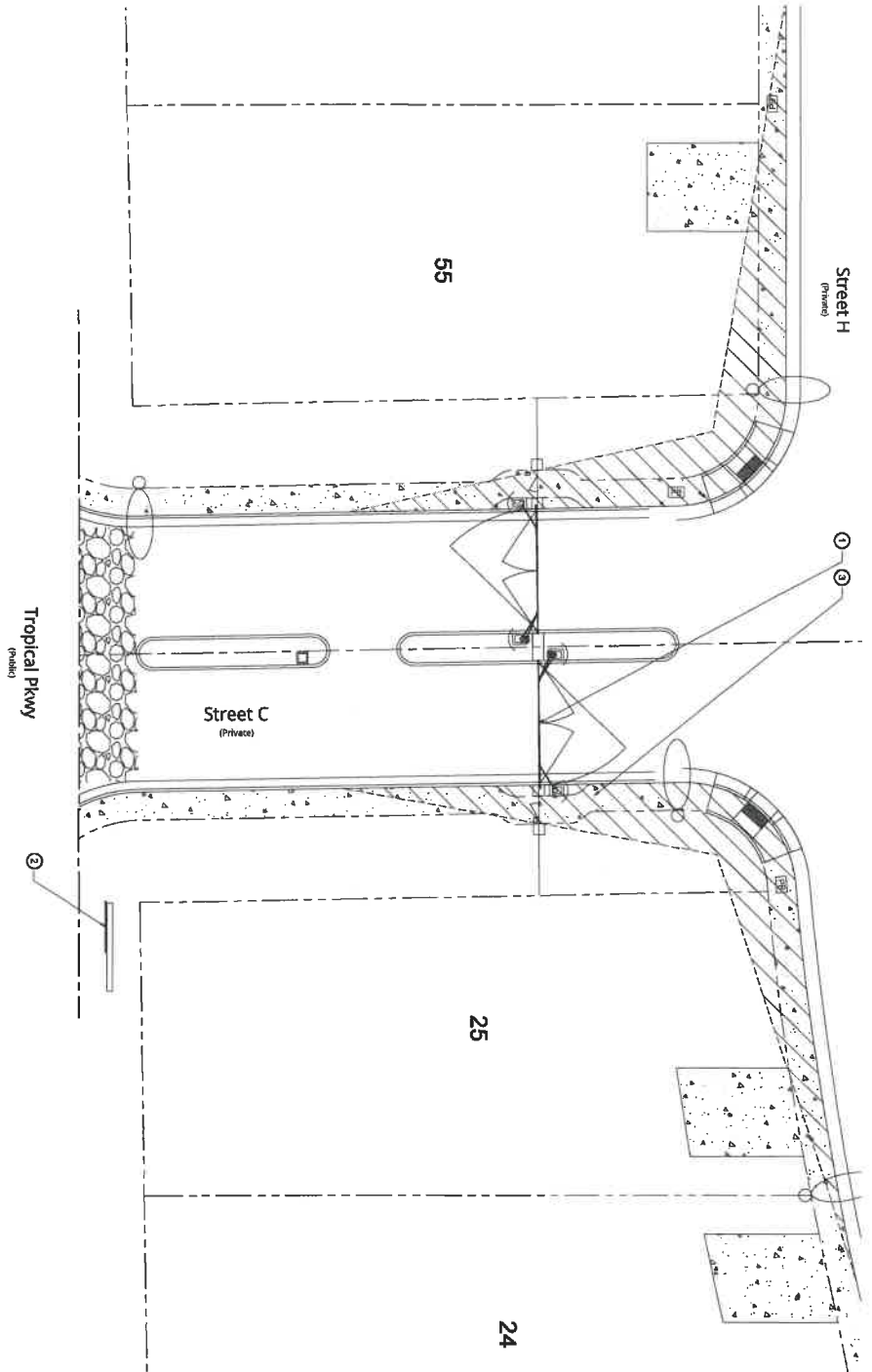
502 PPG 7 COLOR CHART (UNPAINTED) IS PLACED PLANT MATERIALS LOCATED WITHIN THE SOFT VISIBILITY ZONES WILL BE SHOWN WITH A BROWN TINT OF 20%



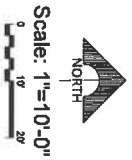
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NORTH
0' 10' 20'

PROGRESS SET - NOT FOR CONSTRUCTION

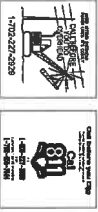
<p>SHEET TITLE</p> <p>Construction Plan</p>	<p>REVISIONS</p> <table> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td>03-25-2021</td> <td>100% REVIEW</td> </tr> </table>	No.	Date	Description	1	03-25-2021	100% REVIEW	<p>PROJECT NAME</p> <p>Orchard Canyon Streetscape & Common Area Richmond American Homes 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV 89139</p>	<p>SUNSTATE STUDIOS LANDSCAPE ARCHITECTURE & LAND PLANNING 93101 E. Craig Rd. N. Las Vegas, NV 89131 702.861.1778 www.sunstatestudios.com</p>
No.	Date	Description							
1	03-25-2021	100% REVIEW							
<p>Scale: 1"=20'-0"</p> <p>Date drawn: 03-05-2021</p> <p>Drawn by: GS</p> <p>Designed by: TT</p> <p>Approved by: TT</p> <p>Project #: 900728</p>	<p>04</p> <p>LA-3</p>								



- KEYNOTES**
- | Keynote | Description | Lot |
|---------|--|------|
| 1 | COMMUNITY GATE | LA-2 |
| 2 | COMMUNITY SIGN | LA-3 |
| 3 | CONCRETE SIDEWALK PER CIVIL ENGINEER PLAN | LA-3 |
| 4 | SIGHT VISIBILITY ZONE (AVZ) PER CIVIL ENGINEER PLANS | LA-3 |

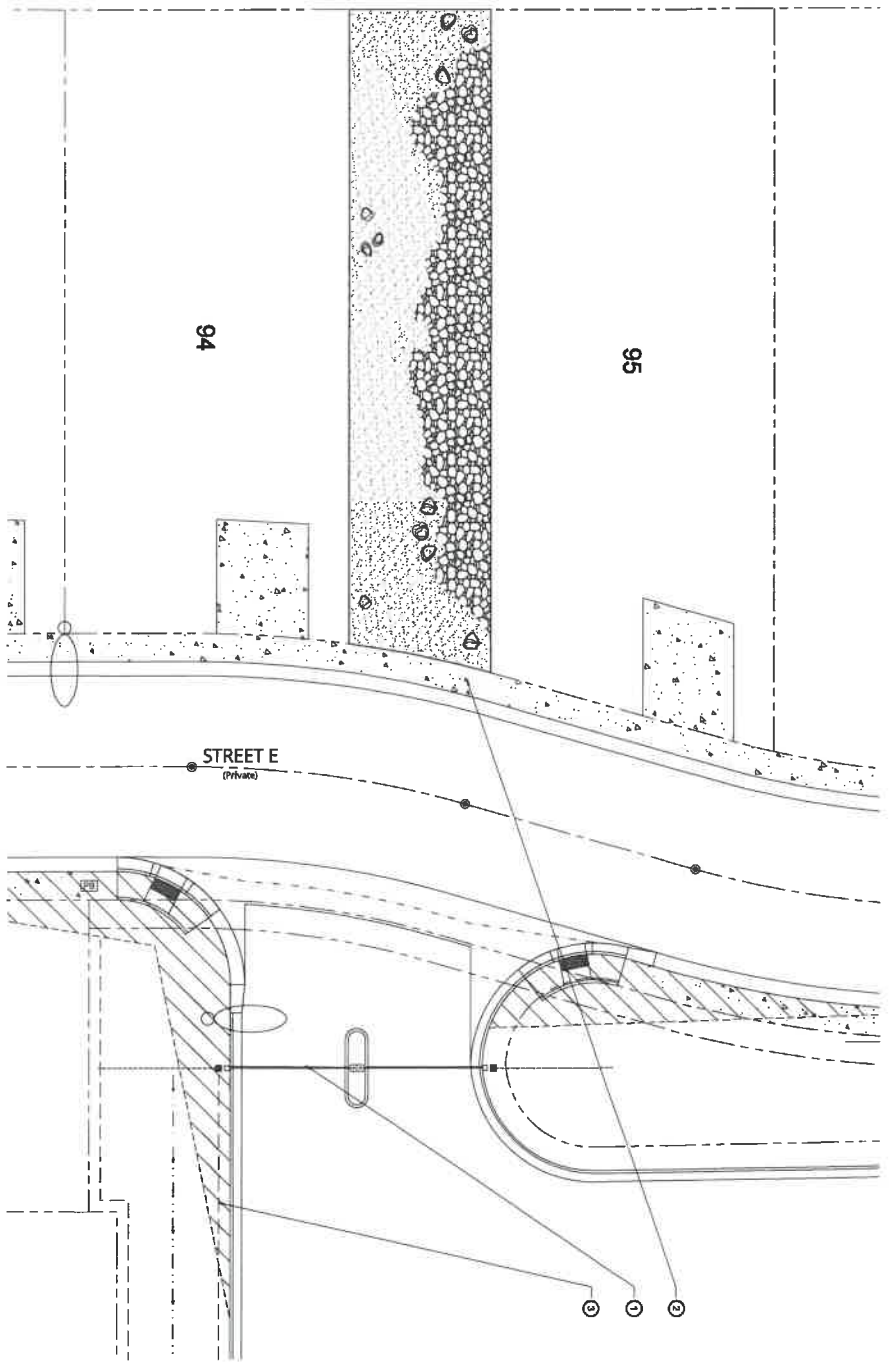


END OF CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE SIGHT VISIBILITY ZONES WILL
BE REMOVED AT LANDSCAPE ARCHITECT'S COST



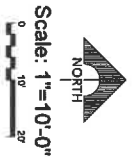
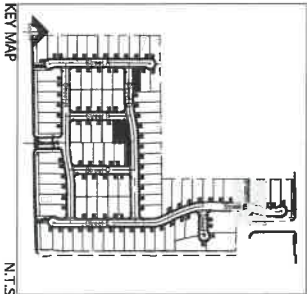
PROGRESS SET - NOT FOR CONSTRUCTION

SHEET NO. 05 LA-4	SCALE: 1"=20'-0" Date drawn: 03-05-2021 Drawn by: GS Designed by: TT Approved by: TT Project #: 800728	SHEET TITLE Construction Plan	REVISIONS <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03-25-2021</td> <td>100% REVIEW</td> </tr> </tbody> </table>	No.	Date	Description	1	03-25-2021	100% REVIEW	PROJECT NAME Orchard Canyon Streetscape & Common Area Richmond American Homes 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV 89139		SUNSTATE STUDIOS LANDSCAPE ARCHITECTURE & LAND PLANNING 13101 E. Craig Rd., Las Vegas, NV 89139 Tel: 702.798.1770 www.sunstatestudios.com
		No.	Date	Description								
		1	03-25-2021	100% REVIEW								



- MATERIAL LEGEND**
- 2'-4" DECOMACTIVE LANDSCAPE ROCK - 1,070 SQAFT
 - VIRIDIA SOLID ON EQ. - 1,785 SQAFT
 - 1/4" GRAVEL

PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY ZONES WILL
BE EXCLUDED AT A MINIMUM HEIGHT OF 20'



- KEYNOTES**
- 1 COMMUNITY GATE
 - 2 CONCRETE SIDEWALK
 - 3 PER CIVIL ENGINEER PLAN

PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. 06
Drawing No. LA-5

SHEET TITLE
Construction
Plan

REVISIONS	
No.	Description
01	03-25-2021 100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV 89139



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702.796.1778
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GENERAL LANDSCAPE CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE AND SHALL REPAIR AT HIS COST ANY DAMAGE RESULTING FROM HIS OPERATIONS. CONTRACTORS ON THE JOB SHALL CARRY THE FOLLOWING INSURANCE: (1) WORKERS COMPENSATION, (2) PUBLIC COMPREHENSIVE GENERAL LIABILITY AND (3) PROPERTY DAMAGE. IN AN EMERGENCY THREATENING THE LIFE SAFETY OR ADJACENT WORK, THE CONTRACTOR IS HEREBY INSTRUCTED TO ACT AT HIS DISCRETION TO PREVENT SUCH LOSS OR INJURY.
2. THE CONTRACTOR AGREES TO HOLD HARMLESS THE OWNER AND LANDSCAPE ARCHITECT FROM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF ANY OF HIS SUBCONTRACTORS, MATERIAL SUPPLIERS OR AGENTS.
3. DIMENSIONS ARE BASED ON PRELIMINARY MEASUREMENTS. CONTRACTOR TO VERIFY FIELD CONDITIONS AND MAKE ADJUSTMENTS IN ACCORDANCE WITH DESIGN INTENT. CONTRACTORS BID SHALL REFLECT COST OF INSTALLATION OF MATERIALS AS SHOWN IN DRAWINGS, ALTERNATE MATERIALS TO BE SPECIFIED IN SEPARATE BID OPTION.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE INSTALLATION OF ELECTRICAL, PLUMBING, IRRIGATION, CONCRETE, MASONRY, AND LANDSCAPE MATERIAL FROM CITY OF LAS VEGAS BUILDING AND SAFETY DEPARTMENT. LVBS 0702-29-4231.
5. ALL LOCAL, MUNICIPAL, STATE, AND FEDERAL LAWS, RULES, AND REGULATIONS GOVERNING ON RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN CODES AND THE INFORMATION AND DESIGNS PRESENTED IN THESE DRAWINGS.
6. CONTRACTOR SHALL SUPPLY OWNER AND LANDSCAPE ARCHITECT ONE COPY OF SOILS REPORT AND FERTILIZATION RECOMMENDATIONS FOR REVIEW.
7. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPROPRIATE ARCHITECTURAL, ELECTRICAL, AND CIVIL ENGINEERING PLANS PRIOR TO BEGINNING WORK.
8. PRIOR TO THE START OF ANY WORK, A MEETING SHALL BE HELD WITH THE OWNER, LANDSCAPE ARCHITECT AND CONTRACTOR TO DISCUSS PROJECT PLANS AND SITE CONDITIONS.
9. THIS DOCUMENT SET, INCLUDING ALL PLAN SHEETS, NOTES, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED BY THE CONTRACTOR PERFORMING INSTALLATION AS GENERAL GUIDELINES FOR THE PROJECT DESIGN INTENT. QUANTITIES SHOWN IN THIS DOCUMENT SET ARE ESTIMATES ONLY AND ARE NOT THEREFORE GUARANTEED. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER COMPLETE PROJECT AS SPECIFIED IN THESE DOCUMENTS.
10. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND WILL BE RESPONSIBLE FOR SCHEDULING AND ATTENDING ALL LVBS INSPECTIONS ON BEHALF OF OWNER.
11. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WHICH OCCUR BETWEEN THE EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS, SO THEY MAY BE CORRECTED PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.
13. THE CONTRACTOR SHALL URGENTLY ALL WORK AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR 90 DAYS FROM DATE OF FINAL APPROVAL, UNLESS OTHERWISE NOTED. THE CONTRACTOR AGREES TO REPLACE ANY DEFECTIVE MATERIAL AND/OR WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER.
14. EXISTING SITE CONDITIONS AND THE DOCUMENT SET BASE INFORMATION HAVE BEEN PROVIDED BY THE PROJECT CIVIL ENGINEER. SEE CIVIL ENGINEERING DRAWINGS FOR ALL ROUGH GRADING AND DRAINAGE. SPOT ELEVATIONS ARE RELATIVE TO ADJACENT FINISHED GRADE AND SHOWN FOR REFERENCE ONLY. FIELD VERIFICATION OF ACTUAL ELEVATIONS MAY AFFECT INSTALLATION OF FLATWORK AND MASONRY.
15. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING LIGHT POLES AND UNDERGROUND UTILITIES.
16. OWNERS SHALL APPROVE ALL MATERIALS PRIOR TO ORDERING. SUBMIT FINISH SAMPLES OF FLATWORK FOR OWNER APPROVAL PRIOR TO ORDERING.
17. CONTRACTOR SHALL SHIELD EXISTING WORK WITH VISCOUSE TO PREVENT SPALLING OF CONCRETE OR MORTAR.
18. ALL WRITTEN DIMENSIONS ON PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

CONCRETE NOTES

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 4,200 PSI. CEMENT SHALL BE TYPE I, FINISH MEDIUM BROOK FINISH AND COLOR SHALL BE NATURAL GREY UNLESS OTHERWISE NOTED.
2. PROVIDE 12" SQUARE SAMPLE POLE FOR APPROVAL PRIOR TO INSTALLATION.
3. REINFORCING SHALL COMPLY WITH ASTM A615, GRADE 60.
4. CONTRACTOR SHALL INSTALL FULL-DEPTH EXPANSION JOINTS AND SCORE JOINTS AS SHOWN ON PLANS AND DETAILS, AND ADD ADDITIONAL JOINTS WHERE NECESSARY TO CONTROL CONCRETE CRACKING.
5. ALL CONCRETE SLABS SHALL HAVE A MINIMUM 4" TYPE II LAYER SURFACED AND WIRE MESH PER CONSTRUCTION DETAILS.
6. SEE CIVIL ENGINEERING DRAWINGS FOR ALL ROUGH GRADING AND DRAINAGE.
7. ALL EXPANSION JOINTS SHALL NOT EXCEED 12" WIDE AND SHALL BE SEALED WITH "CHECK O" MASTIC SEAL.
8. CONTRACTOR SHALL PROVIDE PROTECTIVE CURB IN CONCRETE WALLS BUILT TO WIDTH OF WALLS AT 3/4" O.C. IN 3/4" WIDE WALLS. SCORE MARKS SHALL NOT BE LESS THAN 3/4" O.C. OR MORE THAN 3/4" O.C. PROVIDE QUICK JOINTS AT 3/4" O.C. FOR 3/4" WIDE WALLS, 1/2" O.C. FOR 4" WIDE WALLS AND 1/2" O.C. FOR 5/4" WIDE WALLS.

LIGHTING NOTES

1. THE SUPPLY AN INSTALLATION OF A 12V LANDSCAPE LIGHTING SYSTEM WHICH INCLUDES THE FIXTURES SPECIFIED AS WELL AS THE INSTALLATION OF LOW VOLTAGE TRANSFORMER AND DIRECT BURIAL CABLE NECESSARY TO COMPLETE LAYOUT AS SHOWN.
2. THE LIGHT PLAN IS DIAGRAMMATIC AND INTENDED TO SHOW GENERAL, FIXTURE LOCATION AND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR NECESSARY 120V LINE AN 12V WORK TO COMPLETE THE LIGHTING DESIGN AS SHOWN.
4. CONTRACTOR TO USE DIRECT BURIAL SPEARS OR APPROVED INSULATED CONNECTOR W/ CHUMP SLEEVE FOR ALL WIRE CONNECTIONS.
5. LOW VOLTAGE WIRE IS TO BE 800 THINWALL AND SUITABLE FOR IN GROUND CONDUIT. IT SHOULD BE RULLED IN CONDUIT TO MULTIPLE SMALL DIRECT BURIAL BOXES, WHERE THE WIRE IS TO BE BURIED UNDER WALKWAYS, CROSSING OF WALKS OR A SMALL WORK OF PROVIDES DIRECT BURIAL LOW VOLTAGE WIRE. SIZE OF WIRE TO BE DETERMINED BY VOLTAGE DROP CALCULATION.
6. ALL CONDUIT TO BE 1" SCH 40 EPC ELECTRICAL UNLESS OTHERWISE SPECIFIED. ALL LINE VOLTAGE TO HAVE A MINIMUM OF 1/4" OF COVER.
7. ALL IN GROUND PULL BOXES TO BE 7" ROUND GREEN BOX NOT BRAND OR EQUIVALENT UNLESS OTHERWISE NOTED.
8. CONDUIT RUNS FOR LOW VOLTAGE LIGHTING ARE SHOWN SCHEMATICALLY AND SHOULD BE DETERMINED IN FIELD BASED ON SITE CONDITIONS, FUTURE, AND COMMON TRENCH LOCATIONS.

METAL FENCING NOTES

1. ALL METAL FENCING SHALL BE SEAMLESS STEEL TUBING, GRADE 8, CONFORMING TO ASTM A501-14.
2. LANDSCAPE ARCHITECT SHALL PROVIDE THE FIELD MEASUREMENTS REQUIRED FOR PROPER AND METAL FENCING AND GATES SHALL BE FABRICATED AND ASSEMBLED IN THE SHOP TO THE GREATEST EXTENT POSSIBLE.
3. ALL WELDS AND OTHER CONNECTIONS EXPOSED IN THE FINISHED WORK SHALL BE GROUND AND DRESSED SMOOTH AND SO THAT THE SHAPE AND PROFILE OF THE ITEM WELDED IS PRESERVED.
4. GATES SHALL RECEIVE HEAVY-DUTY SPRING LOADED ROLLER ASSEMBLIES WITH SELF-LATCHING HINGES. ALL GATES SHALL HAVE WELDED LOCKS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. FINAL FINISH SHALL BE ELECTROSTATICALLY APPLIED OF TWO (2) COATS OF A LUSTERLESS ALUM ENAMEL. THE COLOR SHALL BE ARCHITECT PRIOR TO INSTALLATION. SELECTED BY THE LANDSCAPE ARCHITECT.
7. ALL GATES SHALL BE SELF-CLOSING WITH STEEL STOP, PROVIDE MASTER KEYED LOCKS FOR ALL TYPE FENCE GATES.

HARDSCAPE MATERIAL LEGEND

SYMBOL	SIZE - FINISH	QUANTITY
	3/4" GRANITE ROCK MULCH -	
	2-4" DECOMPOSED LANDSCAPE ROCK -	
	1/8" GOLD OR SILVER	
	1/8" GRAVEL	
	SAFETY SURFACE	
	SODDED LAWN	
	2-4" LANDSCAPE BOULDER -	21
	TRASH RECEPTACLE - BEESON, 110" WASTAGE	2
	PARK BENCH - BEESON, MODEL #827	8
	PET WASTE STATION - BEESON, 110" WASTAGE	1
	PICNIC TABLE - BEESON, MODEL #827	5

PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No.	07
Scale:	N.E.A.
Date drawn:	03-05-2021
Drawn by:	GS
Designed by:	TT
Approved by:	TT
Project #:	006728

SHEET TITLE
Construction
Details

REVISIONS	
No	Date
01	03-25-2021
100% REVIEW	

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



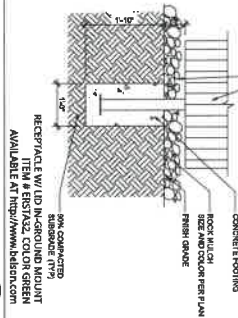
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BENCH 6" WIDE, RIBBED, CHINA-BUTTLE BENCH
MODEL # P-BENCH-400, COLOR GREEN
AVAILABLE AT <http://www.bbsen.com>

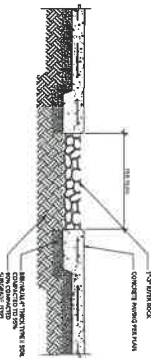
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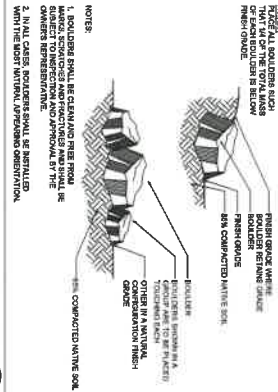
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PICNIC TABLE
SCALE: N.T.S.



PLANTER
SCALE: N.T.S.



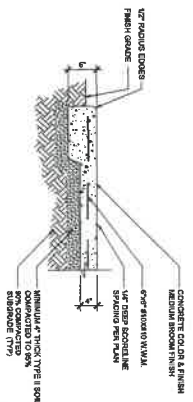
GRANITE BOULDERS
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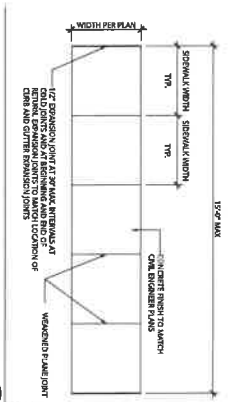
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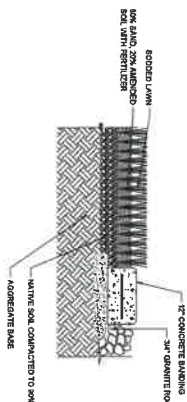
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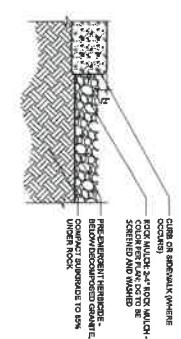
CONCRETE PAVING
SCALE: 1"=1'-0"



CONCRETE SIDEWALK
SCALE: N.T.S.



SODDED LAWN
SCALE: 1"=1'-0"



ROCK MULCH
SCALE: 3/8"=1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. 08
Drawing No. LA-7
Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 800728

SHEET TITLE
Construction
Details

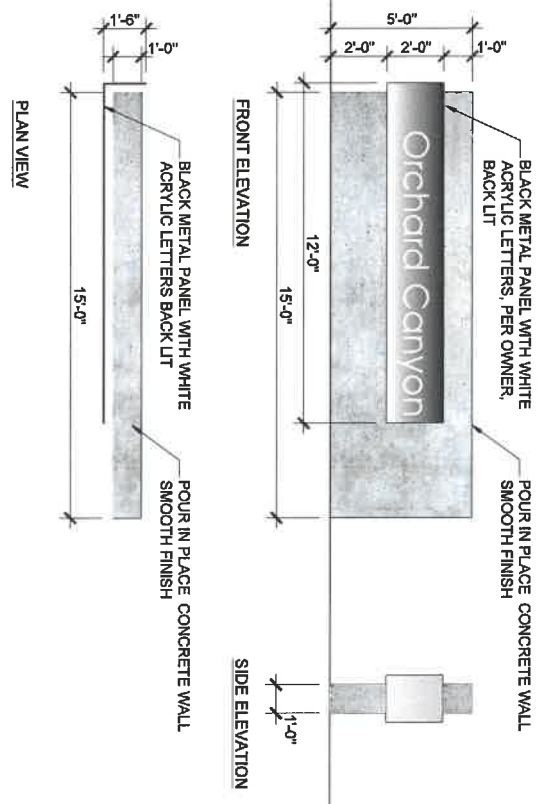
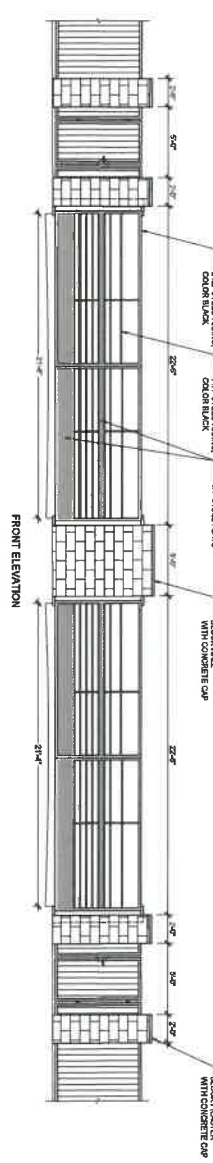
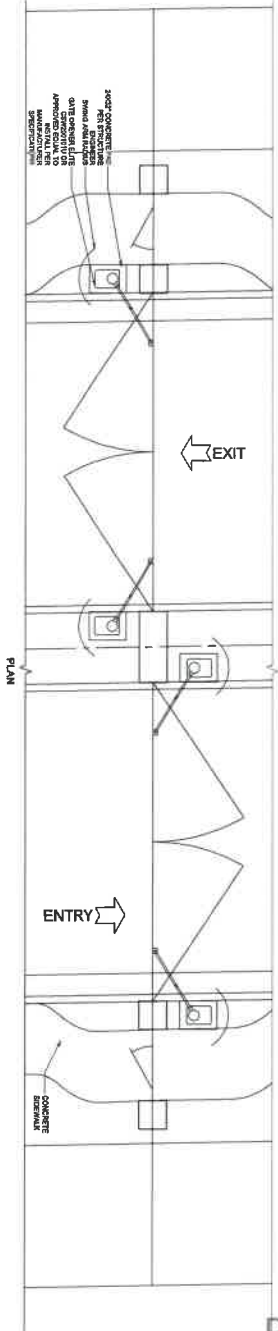
REVISIONS	
No.	Description
01	03-25-2021 100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV 89139



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Las Vegas, NV 89139
702.798.7776
www.sunstatestudios.com

- NOTES:
1. CONSTRUCTION SHALL PROVIDE SHOP DRAWINGS TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION.
 2. ALL MATERIALS SHALL BE OF QUALITY AND DURABLE.
 3. ALL MATERIALS SHALL BE OF QUALITY AND DURABLE.
 4. ALL MATERIALS SHALL BE OF QUALITY AND DURABLE.
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 9. ALL MATERIALS SHALL BE OF QUALITY AND DURABLE.
 10. ALL MATERIALS SHALL BE OF QUALITY AND DURABLE.



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. 09
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 800728

SHEET TITLE
Construction Details

REVISIONS	No.	Description
1	03-05-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV 89139

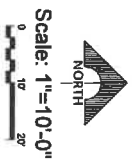
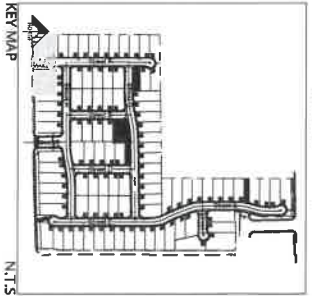


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Tropical Pkwy
(Public)

- KEYNOTES**
- ① SHRUB PLANTING LA-17 1
 - ② TREE PLANTING LA-17 3
 - ③ GROUND COVER LA-17 4
 - ④ CACTUS/SUCCULENT PLANTING LA-17 5
 - ⑤ ROOT BARRIER LA-17 2
 - ⑥ ROCK MULCH LA-7 4
 - ⑦ CONCRETE SIDEWALK PER CIVIL ENGINEER PLAN
 - ⑧ SVZ PER CIVIL ENGINEER PLAN

SVZ PER CIVIL ENGINEERING PLAN
PLANT MATERIALS LOCATED WITHIN THE SVZ "INSTABILITY ZONES" WALL
RECOMMENDED 1' MINIMUM DISTANCE TO SVZ



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. **11**
LA-10
 Scale: 1"=10'-0"
 Date of rev: 03-05-2021
 Drawn by: GS
 Designed by: TT
 Approved by: TT
 Project #: 800728

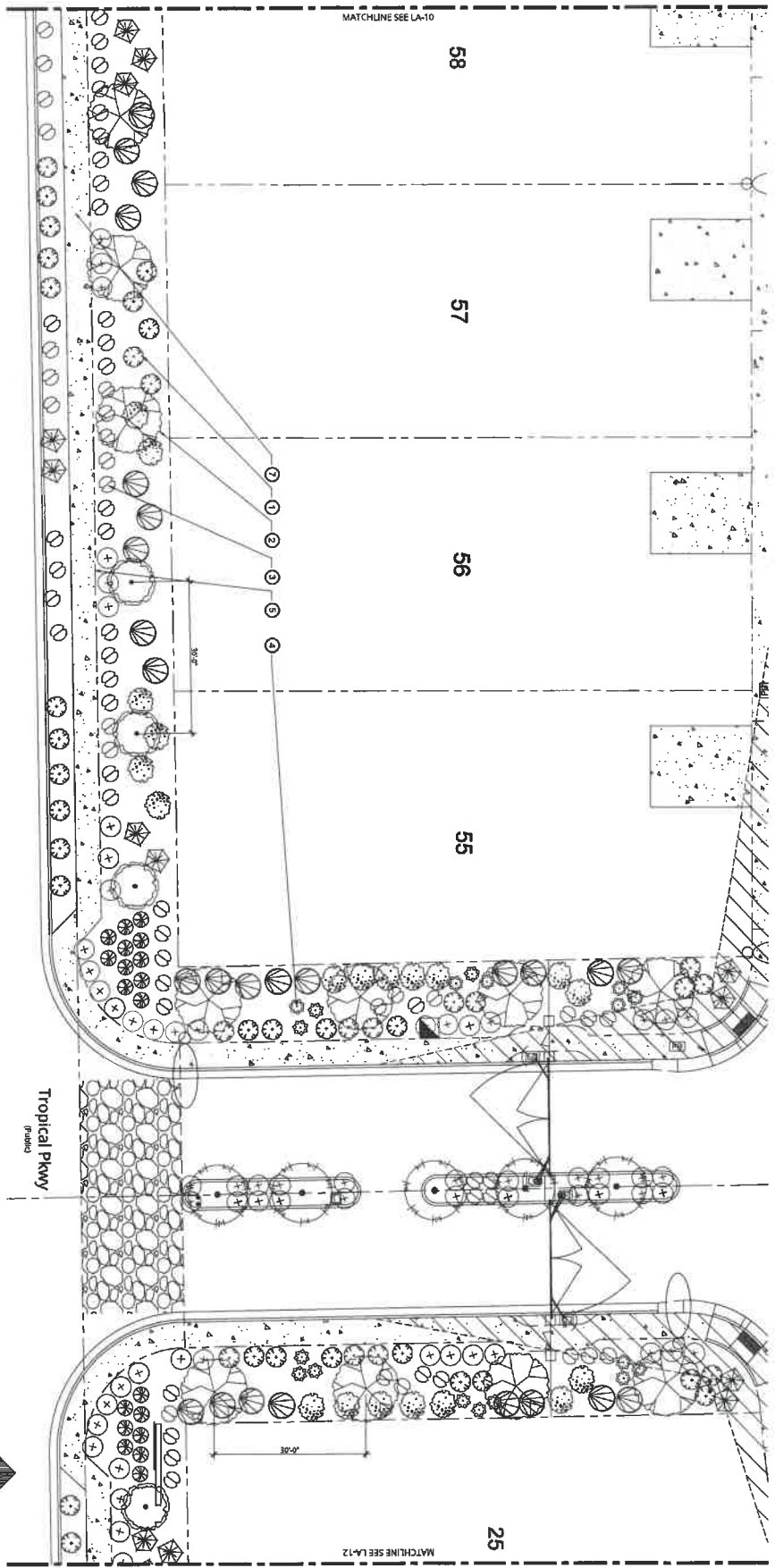
SHEET TITLE
Planting Plan

REVISIONS	
No.	Description

PROJECT NAME
Orchard Canyon
 Streetscape & Common Area
 Richmond American Homes
 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



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- KEYNOTES**
- ① BRUSH PLANTING
 - ② TREE PLANTING
 - ③ GROUND COVER
 - ④ CACTUS/SUCCULENT PLANTING
 - ⑤ ROOT BARRIER
 - ⑥ ROCK MULCH
 - ⑦ CONCRETE SIDEWALK PER CIVIL ENGINEER PLAN
 - ⑧ 8XZ PER CIVIL ENGINEER PLAN

EXISTING CIVIL ENGINEERING PLAN
 PLANT MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY ZONE SHALL
 BE REMOVED TO A MINIMUM HEIGHT OF 2'-0"



Scale: 1"=10'-0"

NORTH

PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. **12**
 Date drawn: 03-05-2021
 Drawn by: GS
 Designed by: TT
 Approved by: TT
 Project #: 800728

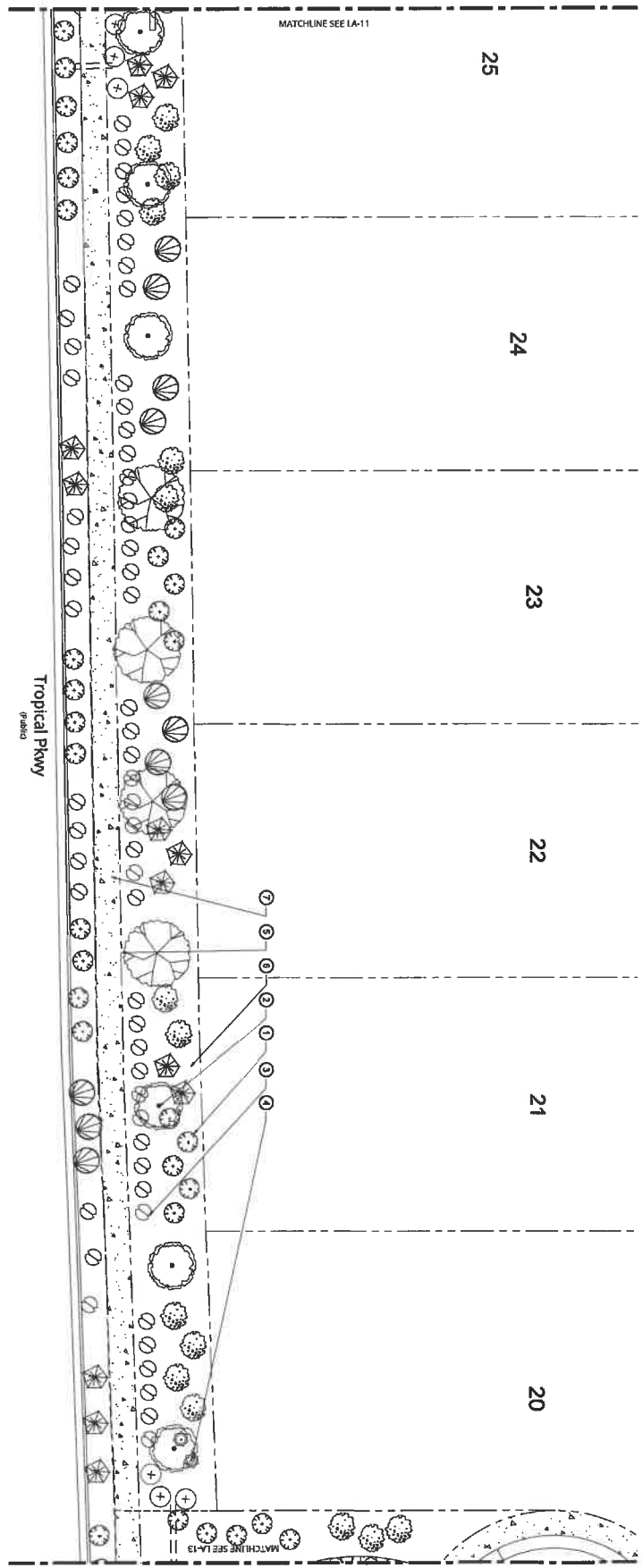
SHEET TITLE
Planting Plan

REVISIONS	
No.	Description
03-25-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
 Streetscape & Common Area
 Richmond American Homes
 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



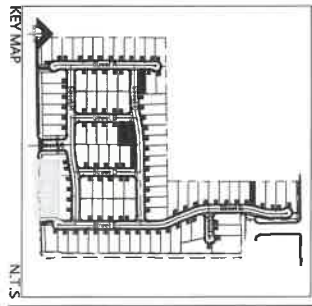
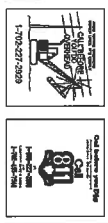
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KEYNOTES

- ① SHRUB PLANTING
- ② TREE PLANTING
- ③ GROUND COVER
- ④ CACTUS/SUCCULENT PLANTING
- ⑤ ROOT BARRIER
- ⑥ ROCK MULCH
- ⑦ CONCRETE SIDEWALK PER CIVIL ENGINEER PLAN
- ⑧ SIZ PER CIVIL ENGINEER PLAN

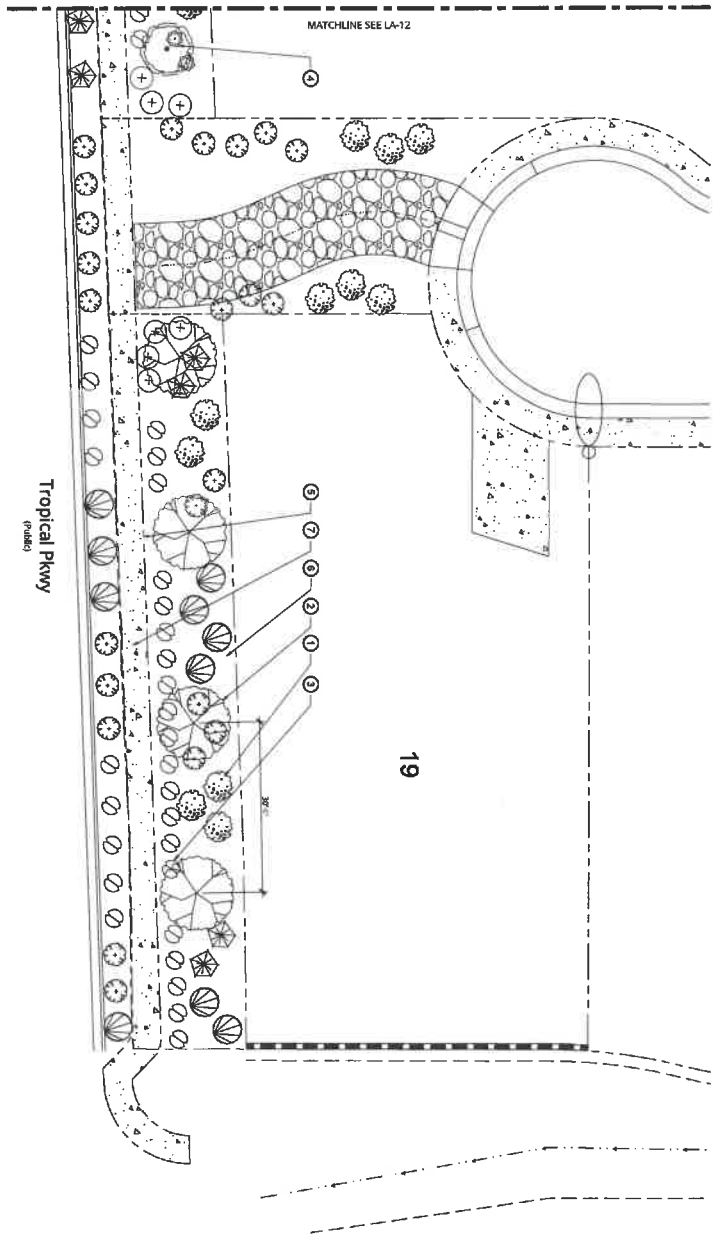
SEE CIVIL ENGINEERING PLAN FOR PLANT MATERIALS LOCATED WITHIN THE STREET VISIBILITY ZONES. ALL BE PLANTING IN A MINIMUM HEIGHT OF 2'-0"



Scale: 1"=10'-0"
 NORTH
 0 10' 20'

PROGRESS SET - NOT FOR CONSTRUCTION

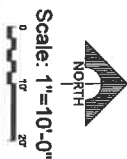
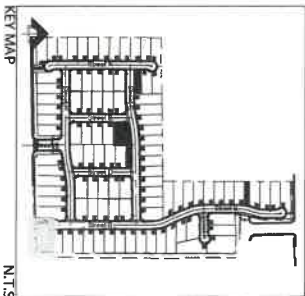
Sheet No. 13 Drawing No. LA-12	Scale: N.T.S. Date drawn: 03-05-2021 Drawn by: GS Designed by: TT Approved by: TT Project #: 800728	SHEET TITLE <h2 style="text-align: center;">Planting Plan</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>No</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>25-2021 100% REVIEW</td> </tr> </tbody> </table>	REVISIONS		No	Description	01	25-2021 100% REVIEW	PROJECT NAME <h3>Orchard Canyon</h3> <p>Streetscape & Common Area Richmond American Homes 7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139</p>	<div style="text-align: right;"> SUNSTATE STUDIOS LANDSCAPE ARCHITECTURE & LAND PLANNING 93101 CERRITOS, N.W. 10th St, Suite 100 Las Vegas, NV 89113 702-798-1775 www.sunstatestudios.com </div>
REVISIONS											
No	Description										
01	25-2021 100% REVIEW										



KEYNOTES

- ① SHRUB PLANTING L&P 1
- ② TREE PLANTING L&P 3
- ③ GROUND COVER L&P 4
- ④ CACTUS/SUCCULENT PLANTING L&P 5
- ⑤ ROOT BARRIER L&P 2
- ⑥ ROCK MULCH L&P 4
- ⑦ CONCRETE SIDEWALK PER CIVIL
- ⑧ ENGINEER PLAN
- ⑨ SIZE PER CIVIL ENGINEER PLAN
- ⑩ MEDIAN LANDSCAPE NOT PART OF THE REVIEW
- ⑪ LANDSCAPE INSTALLATION PER FRONT YARD PRODUCTION PLAN

SEE PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE FRONT VISIBILITY ZONES SHALL
BE REMOVED IN A WORKMANLY MANNER.



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. 14
Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 800728

SHEET TITLE
Planting Plan

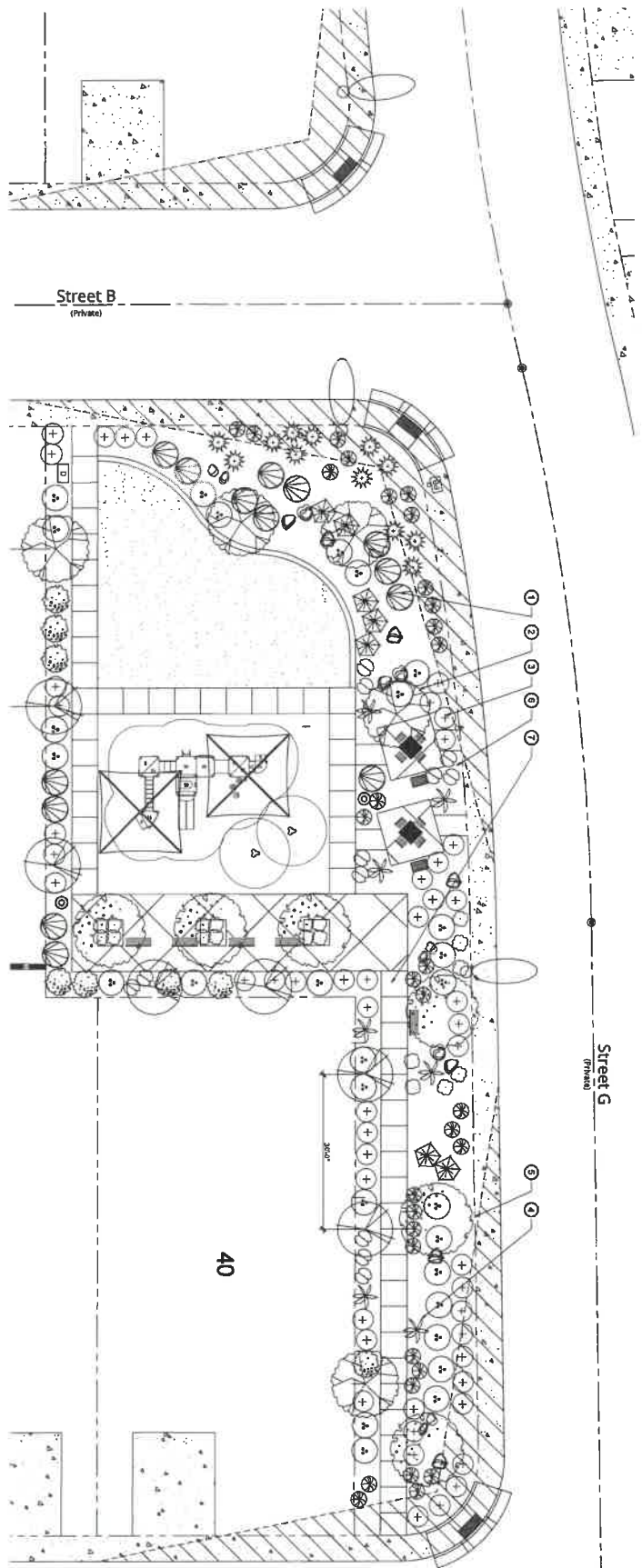
REVISIONS	
No.	Description
1	10-25-2021 100% REVIEW

PROJECT NAME
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KEYNOTES

- ① SHRUB PLANTING
- ② TREE PLANTING
- ③ GROUND COVER
- ④ CACTUS/SUCCULENT PLANTING
- ⑤ ROOT BARRIER
- ⑥ ROCK MULCH
- ⑦ CONCRETE SIDEWALK PER CIVIL ENGINEER PLAN
- ⑧ 5/2 PER CIVIL ENGINEER PLAN

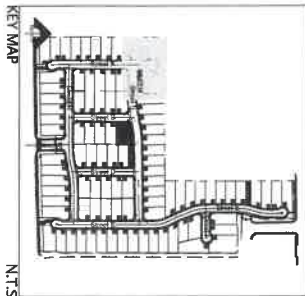
Scale: 1"=10'-0"

0 10' 20'



PROGRESS SET - NOT FOR CONSTRUCTION

202 PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE 50' SETBACK ZONE SHALL
BE REMOVED AT A MINIMUM 15' SETBACK



N.T.S.

Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 806728

SHEET TITLE
Planting Plan

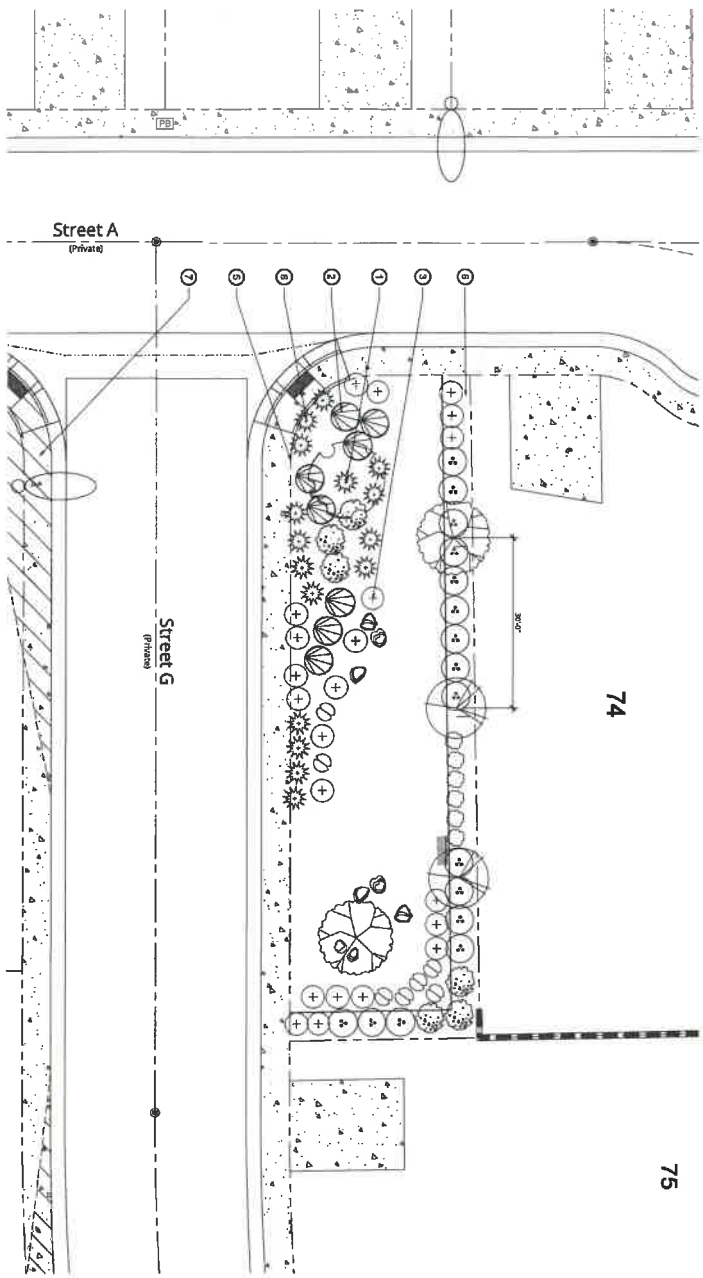
REVISIONS	
No.	Description
01	100% REVIEW

PROJECT NAME
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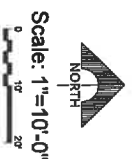
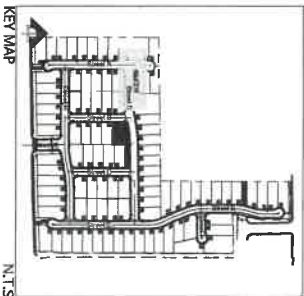




KEYNOTES

- 1 SHRUB PLANTING LA-17 1
- 2 TREE PLANTING LA-17 3
- 3 GROUND COVER LA-17 4
- 4 CACTUS/SUCCULENT PLANTING LA-17 5
- 5 ROOT BARRIER LA-17 2
- 6 ROCK MULCH LA-17 4
- 7 CONCRETE SIDEWALK PER CIVIL
- 8 ENGINEER PLAN
- 9 SIZ PER CIVIL ENGINEER PLAN

NOT PER CIVIL ENGINEER PLAN
PLANT MATERIAL LOCATED WITHIN THE GREAT VISIBILITY ZONE WALL
AS SHOWN IN A VARIATION REPORT OF 2'



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No.	16
Scale	N.T.S.
Date drawn	03-05-2021
Drawn by	GS
Designed by	TT
Approved by	TT
Project #	800728

SHEET TITLE
Planting Plan

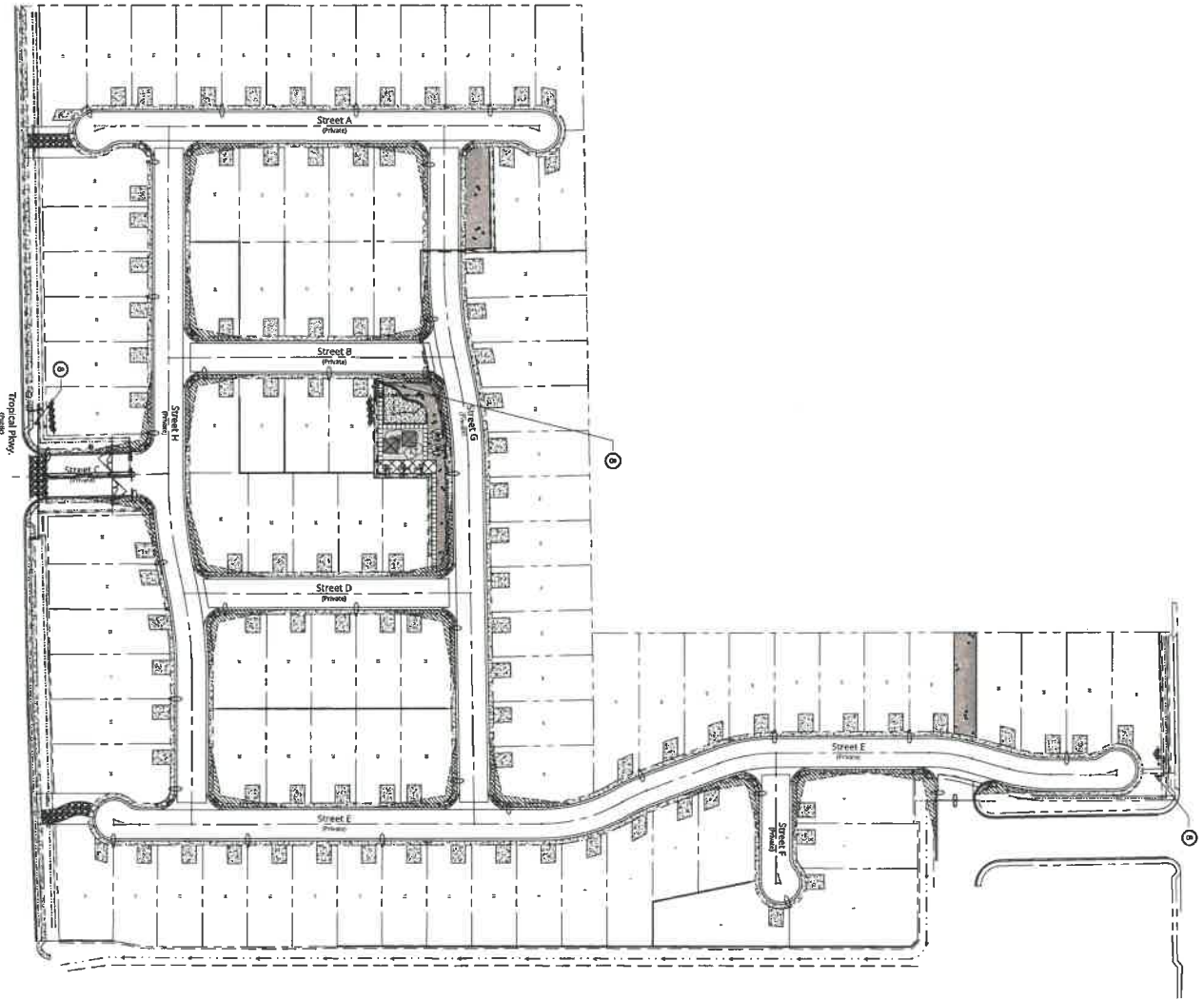
REVISIONS	
No.	Description
03-25-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
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KEYNOTES

- ① DWP VALVE LA-27 6
- ② QUICK COUPLER VALVE LA-27 9
- ③ BALL VALVE LA-27 5
- ④ SLEEVE PER CIVIL ENGINEER PLAN LA-27 13
- ⑤ FLUSH VALVE LA-27 3
- ⑥ IRRIGATION CONTROLLER LA-27 1
- ⑦ VALVE KEY
- ⑧ IRRIGATION METER & RPPA PER CIVIL PLANS

PROGRESS SET - NOT FOR CONSTRUCTION

8/22 PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE SIGHT VISIBILITY ZONES WALL
PLANT MATERIALS IN LANDSCAPE ZONES 12' W/



Scale: 1"=60'-0"
NORTH
0' 60' 120'

Sheet No. 19
Drawing No. LA-18
Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 806728

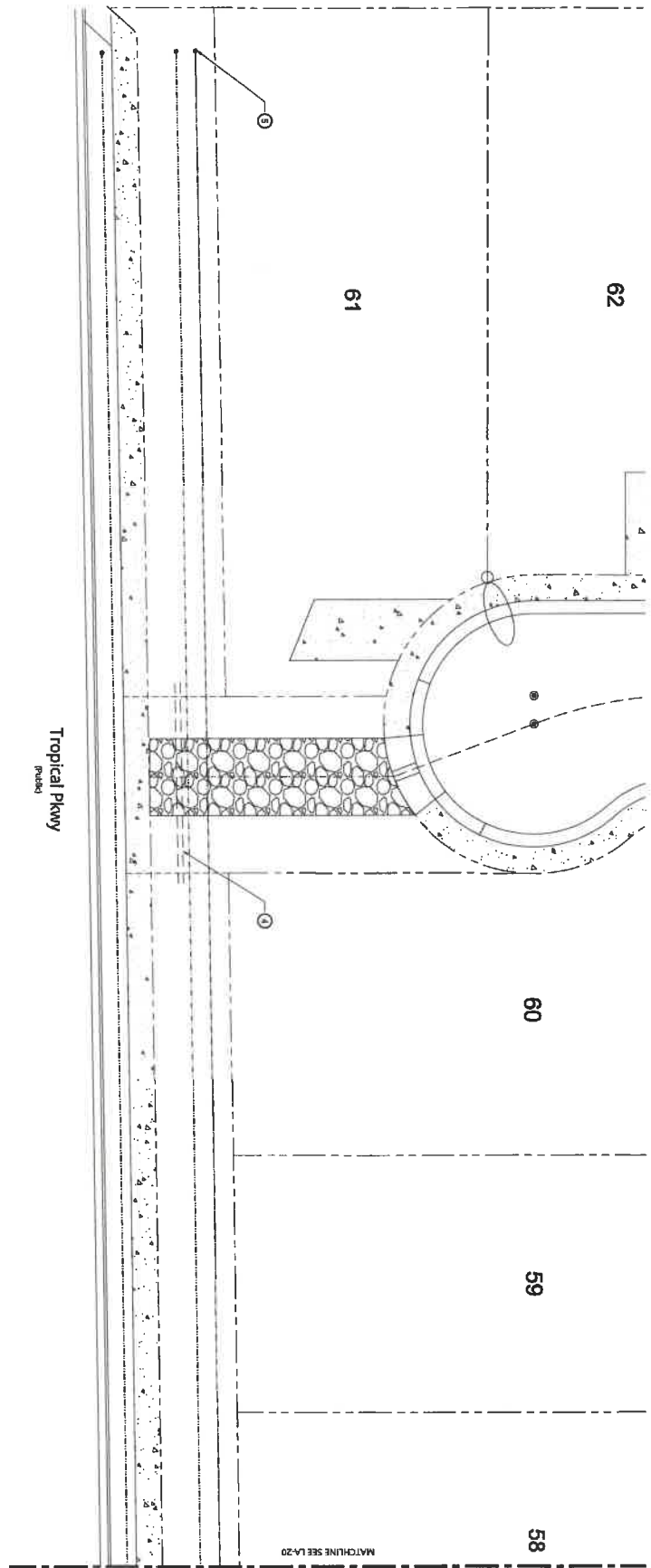
SHEET TITLE
Overall Irrigation Plan

REVISIONS	
No.	Date Description
03-25-2021	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
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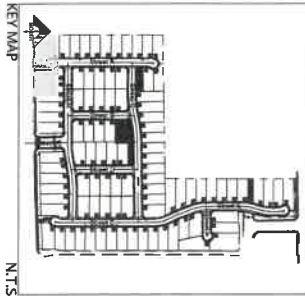
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KEYNOTES

- 1 DRIIP VALVE LA-27 6
- 2 QUICK COUPLER VALVE LA-27 9
- 3 BALL VALVE LA-27 5
- 4 SLEEVE PER CIVIL ENGINEER PLAN LA-27 13
- 5 FLUSH VALVE LA-27 3
- 6 IRRIGATION CONTROLLER LA-27 1
- 7 VALVE KEY
- 8 IRRIGATION METER & RPPA PER CIVIL PLANS

NOTES: CIVIL ENGINEERING PLAN
PLANT MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY CORNER SHALL
BE MAINTAINED AT A MINIMUM HEIGHT OF 24"



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. 20
Scale: N.T.S.
Data drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 800728

SHEET TITLE
Irrigation Plan

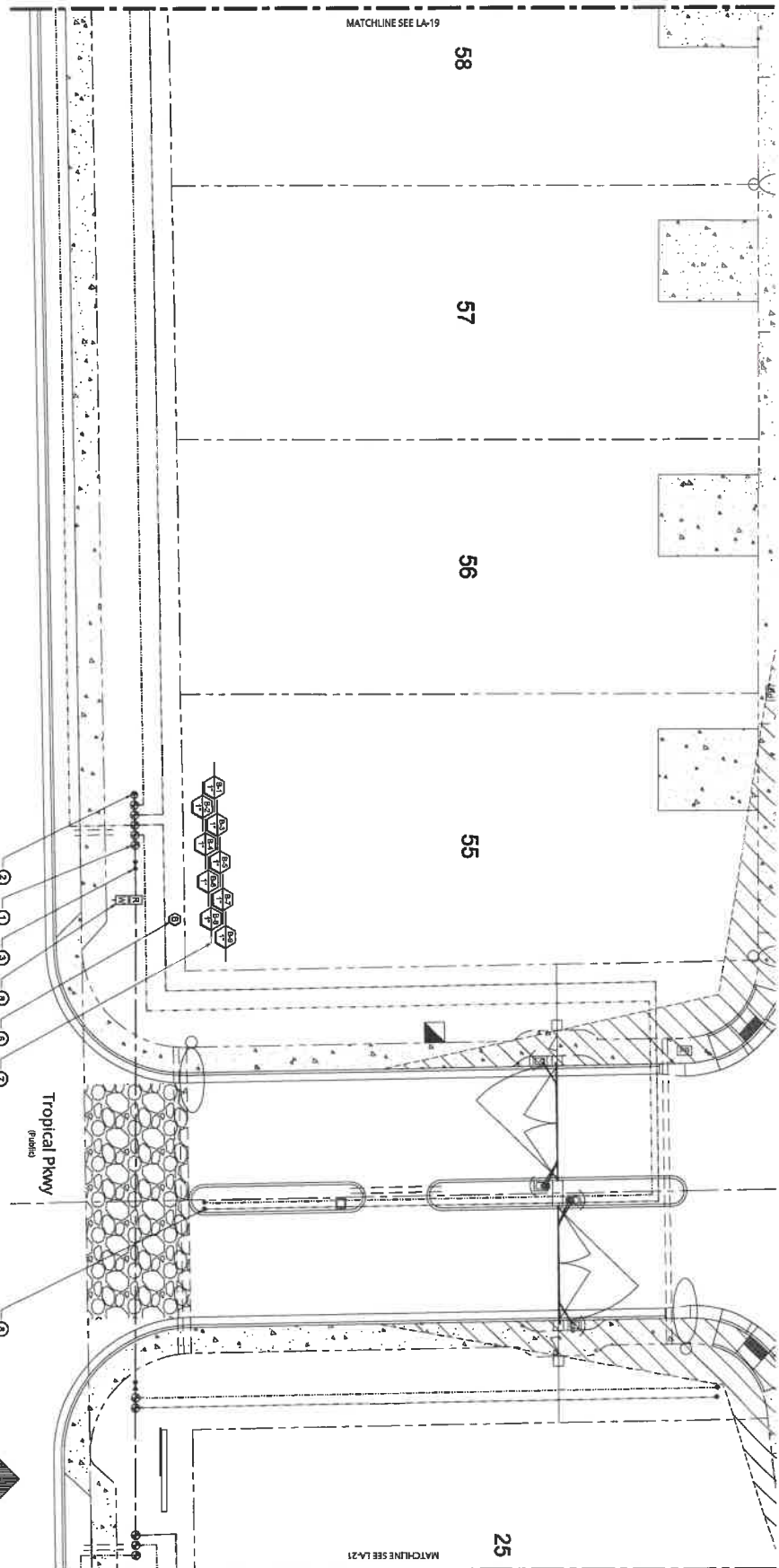
REVISIONS	
No.	Description
01-25-2021	10% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



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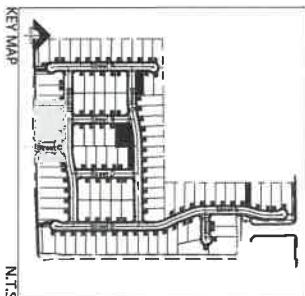




KEYNOTES

- 1 DWP VALVE LA-27 6
- 2 QUICK COUPLER VALVE LA-27 9
- 3 BALL VALVE LA-27 5
- 4 SLEEVE PER CIVIL ENGINEER PLAN LA-27 13
- 5 FLUSH VALVE LA-27 3
- 6 IRRIGATION CONTROLLER LA-27 1
- 7 VALVE KEY
- 8 IRRIGATION METER & RPPA PER CIVIL PLANS

2022 PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE SPORT VISIBILITY ZONES SHALL
BE EXCLUDED AT A MINIMUM HEIGHT OF 20'



N.T.S.



PROGRESS SET - NOT FOR CONSTRUCTION

Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 806728

SHEET TITLE
Irrigation Plan

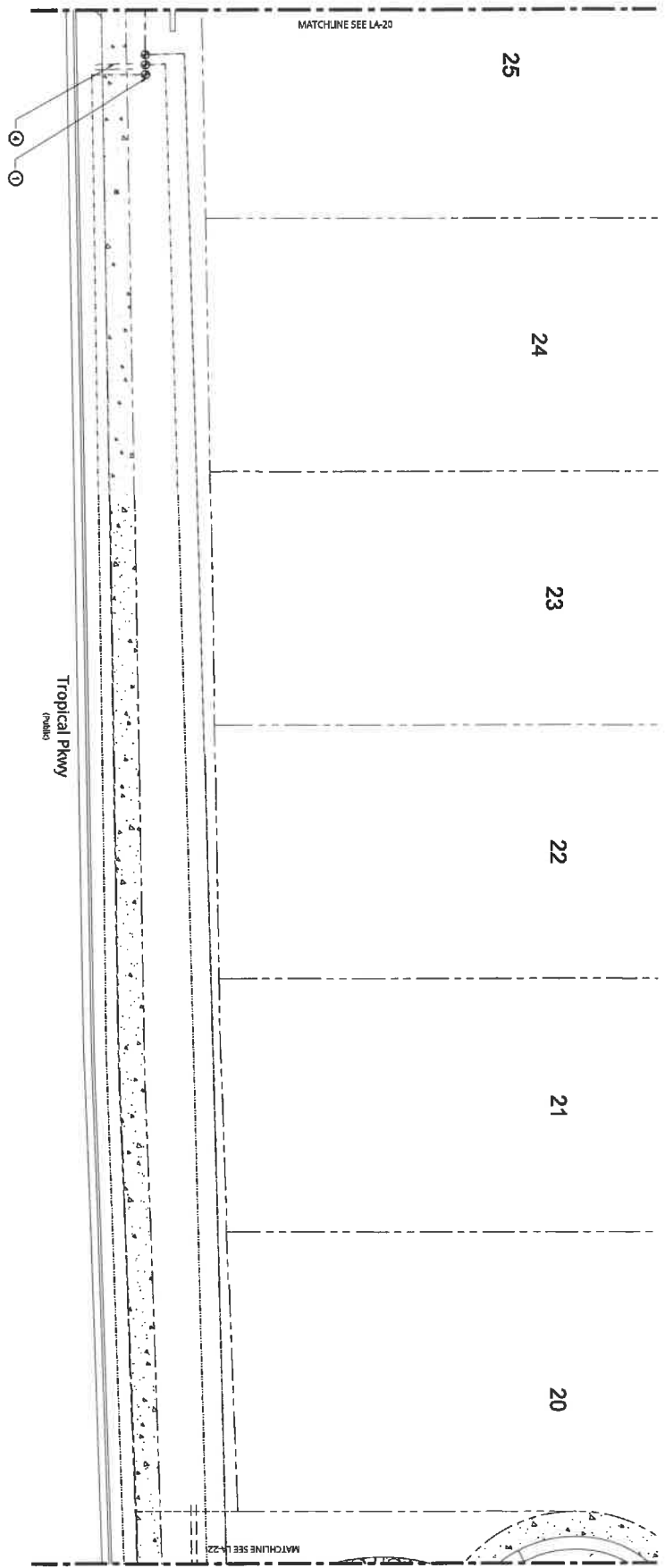
REVISIONS	
No.	Description
01	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
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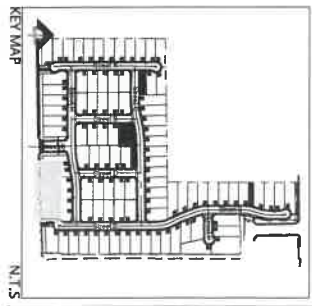
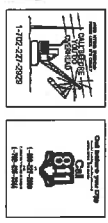




KEYNOTES

- ① DRIP VALVE LK-27 6
- ② QUICK COUPLER VALVE LK-27 9
- ③ BALL VALVE LK-27 5
- ④ SLEEVE PER CIVIL ENGINEER PLAN LK-27 13
- ⑤ FLUSH VALVE LK-27 3
- ⑥ IRRIGATION CONTROLLER LK-27 1
- ⑦ VALVE KEY
- ⑧ IRRIGATION METER & RPPA PER CIVIL PLANS

SEE CIVIL ENGINEERING PLANS
FOR IRRIGATION LOCATIONS WITHIN THE SCENT VISIBILITY ZONES. WILL
BE SHOWN IN A BORDERS HEIGHT OF 2'-0"



PROGRESS SET - NOT FOR CONSTRUCTION

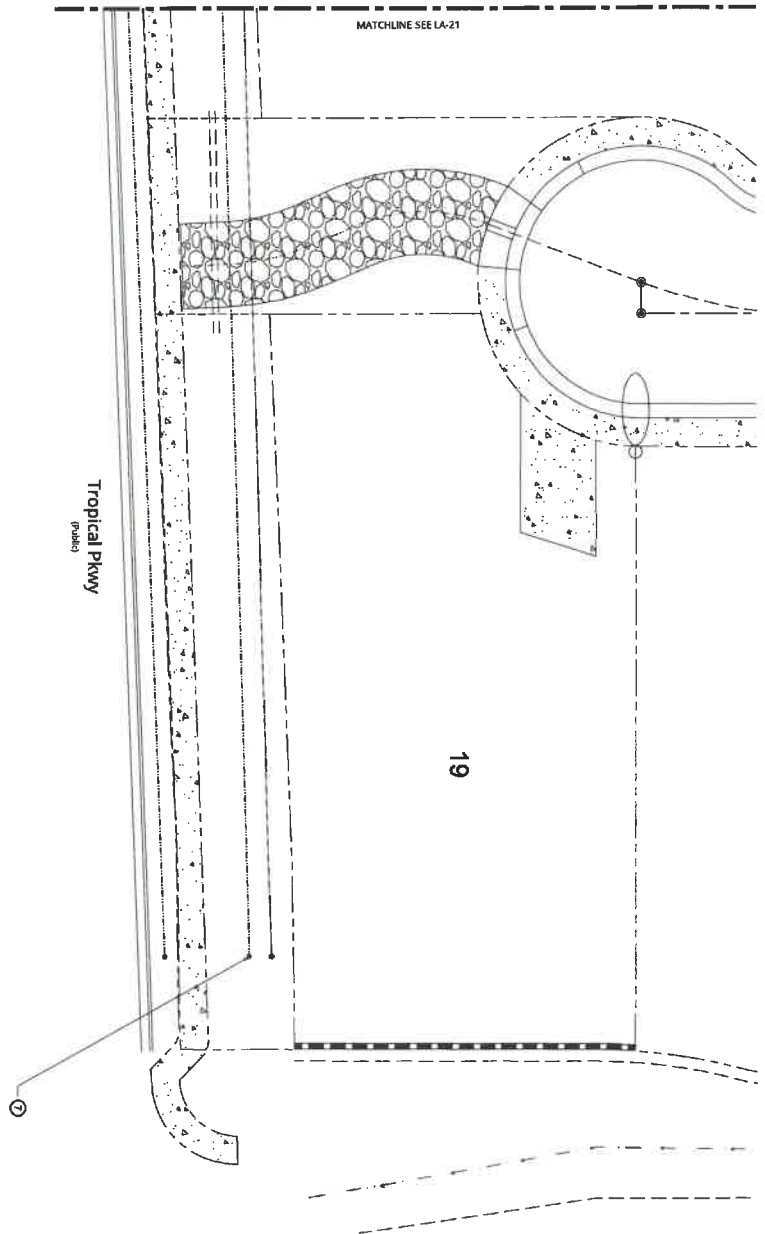
Sheet No. **22**
Drawing No. **LA-21**

SHEET TITLE
Irrigation Plan

REVISIONS	
No.	Description
01-25-2021	100% REVIEW

PROJECT NAME
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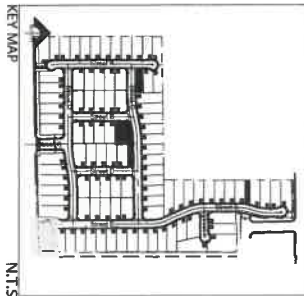
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KEYNOTES

- | | | |
|---|--|----------|
| 1 | DRIE VALVE | LA-27 4 |
| 2 | QUICK COUPLER VALVE | LA-27 8 |
| 3 | BALL VALVE | LA-27 5 |
| 4 | SLEEVE PER CIVIL ENGINEER PLAN | LA-27 13 |
| 5 | FLUSH VALVE | LA-27 3 |
| 6 | IRRIGATION CONTROLLER | LA-27 1 |
| 7 | VALVE KEY | |
| 8 | IRRIGATION METERS & RPPA PER CIVIL PLANS | |

EXISTING CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY ZONE SHALL
BE REMOVED AT A MINIMUM HEIGHT OF 2'-0"



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No. **23**
Date drawn: 03-05-2021
Drawing No. **LA-22**

SHEET TITLE
Irrigation Plan

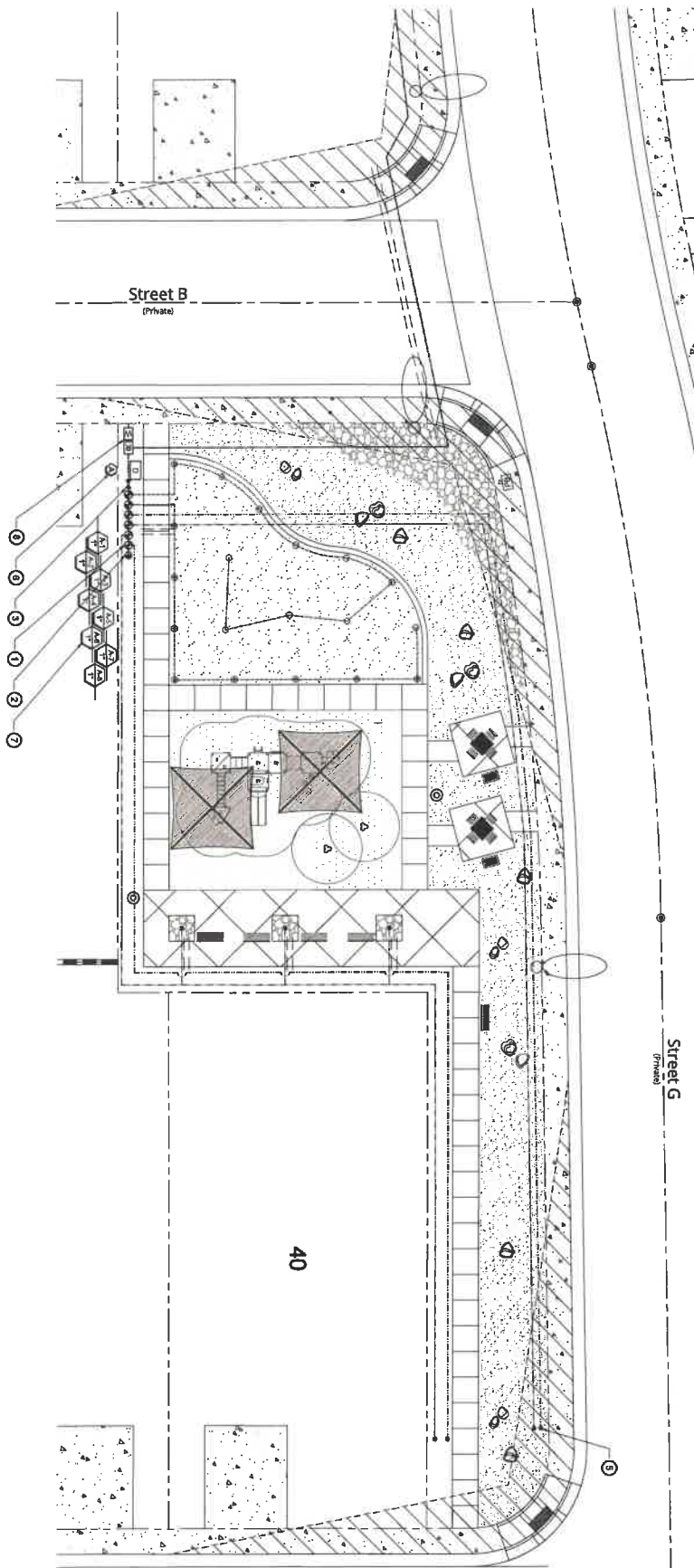
REVISIONS	
No.	Description
01-25-2021	100% REVIEW

PROJECT NAME
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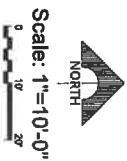
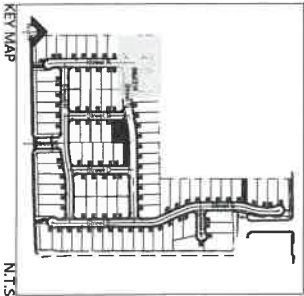




KEYNOTES

- 1 DRIE VALVE LK-27 6
- 2 QUICK COUPLER VALVE LK-27 9
- 3 BALL VALVE LK-27 5
- 4 SLEEVE PER CIVIL ENGINEER PLAN LK-27 13
- 5 FLUSH VALVE LK-27 3
- 6 IRRIGATION CONTROLLER LK-27 1
- 7 VALVE KEY
- 8 IRRIGATION METERS & RPPA PER CIVIL PLANS

SEE CIVIL ENGINEERING PLANS FOR IRRIGATION SYSTEM LOCATIONS. THE SHOWN VARIATION ZONES WILL BE DETERMINED BY A SURVEYOR IN ACCORDANCE WITH THE STATE OF NV.



PROGRESS SET - NOT FOR CONSTRUCTION

Sheet No.	24
Date drawn	03-05-2021
Drawn by	GS
Approved by	TT
Project #	8067228

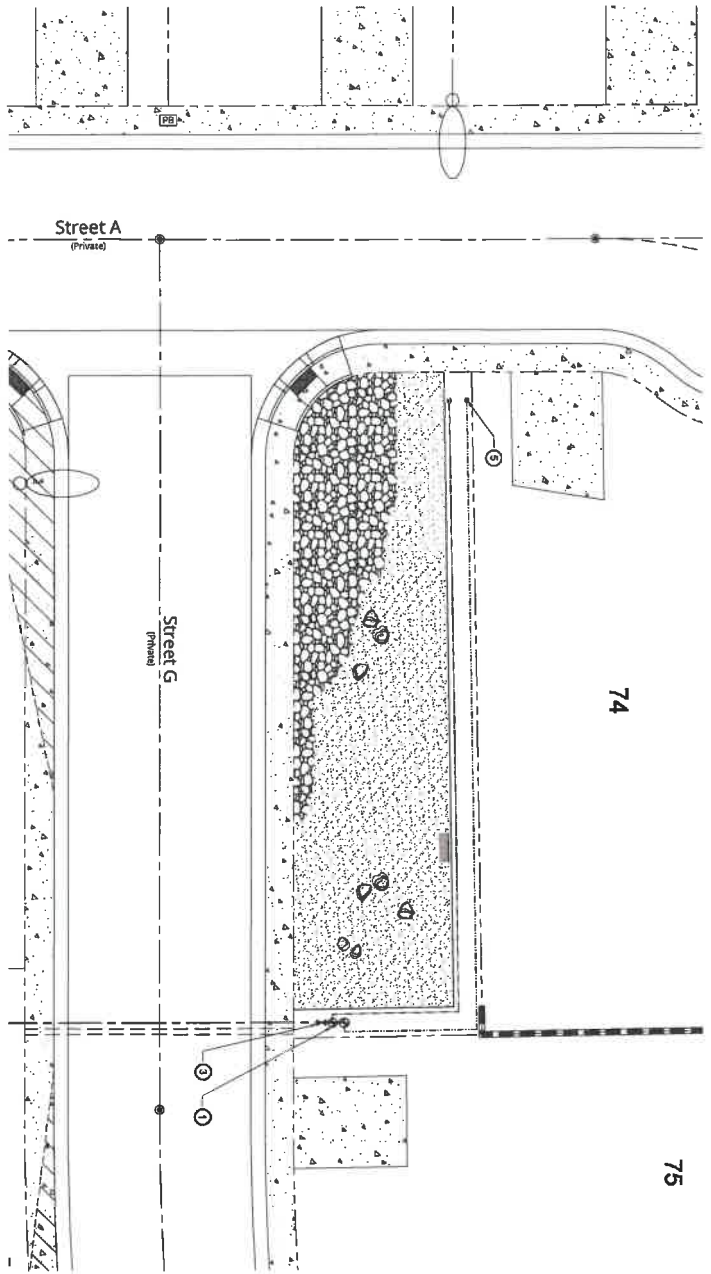
SHEET TITLE
Irrigation Plan

REVISIONS	
No.	Description
1	100% REVIEW

PROJECT NAME
Orchard Canyon
Streetscape & Common Area
Richmond American Homes
7770 S. Dean Martin Dr, Suite #308 Las Vegas NV, 89139



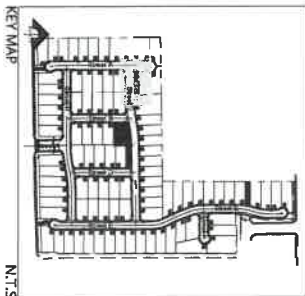
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KEYNOTES

1	DRI VALVE	LA-27	6
2	QUICK COUPLER VALVE	LA-27	9
3	BALL VALVE	LA-27	5
4	SLEEVE PER CIVIL ENGINEER PLAN	LA-27	13
5	FLUSH VALVE	LA-27	3
6	IRRIGATION CONTROLLER	LA-27	1
7	VALVE KEY		
8	IRRIGATION METER & RPPA PER CIVIL PLANS		

SEE CIVIL ENGINEERING PLANS
FOR IRRIGATION LOCATIONS WITHIN THE EXISTING UTILITY ZONES. ALL
REVISIONS SHALL BE SHOWN IN RED OR 20"



PROGRESS SET - NOT FOR CONSTRUCTION

Scale: N.T.S.
Date drawn: 03-05-2021
Drawn by: GS
Designed by: TT
Approved by: TT
Project #: 800728

SHEET TITLE
Irrigation Plan

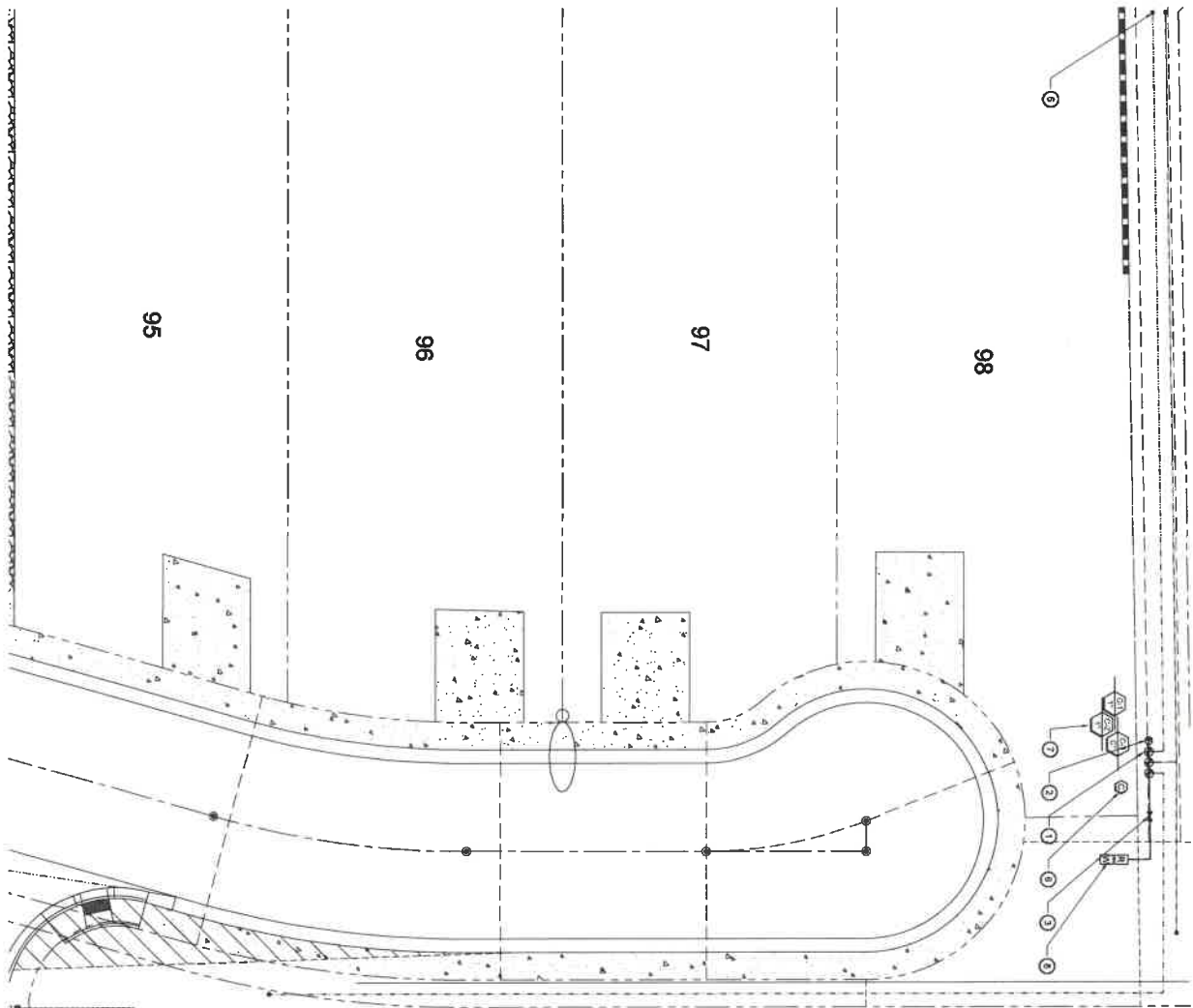
REVISIONS	
No.	Date
1	03-15-2021
	100% REVIEW

PROJECT NAME
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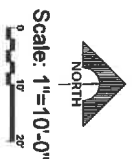
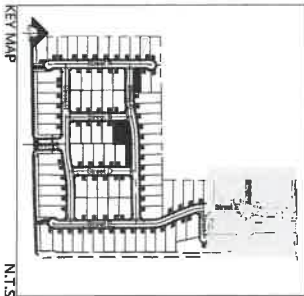


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PER CIVIL ENGINEERING PLANS
PLANT MATERIALS LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE
REMOVED AND A NEWSPAPER COVERED TO BE



PROGRESS SET - NOT FOR CONSTRUCTION

- KEYNOTES**
- ① DRIP VALVE LA-27 8
 - ② QUICK COUPLER VALVE LA-27 9
 - ③ BALL VALVE LA-27 5
 - ④ SLEEVE PER CIVIL ENGINEER PLAN LA-27 5
 - ⑤ FLUSH VALVE LA-27 5
 - ⑥ IRRIGATION CONTROLLER LA-27 5
 - ⑦ VALVE KEY LA-27 5
 - ⑧ IRRIGATION METER & RPPA PER CIVIL PLANS

26
LA-25
Drawing File
Project # 006728

SHEET TITLE
Irrigation Plan

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No	Description
03-25-2021	100% REVIEW

PROJECT NAME
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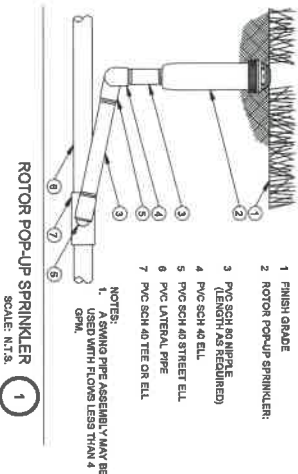
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1. ALL LOCAL WINDUP AND STATE LAWS, RULES AND REGULATIONS CONCERNING RELATING TO ANY PORTION OF THE WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED TO EXERCISE RESPECTIVE RIGHTS OF ANY ADJACENT PROPERTY OWNERS, AUTHORIZED REPRESENTATIVE OF ANY DISCREPANCY PRIOR TO THE INSTALLATION OR OBTAINING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY THE PROPERTY PARTY, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ALL NECESSARY SYSTEM ALTERATIONS REQUIRED TO FACILITATE AN EFFICIENT AND OPERATIONAL SYSTEM. THIS REGULATION SYSTEM REQUIRES A MINIMUM OF 65 TO 75 PSI WATER PRESSURE AT WATER METERS.
4. THE CONTRACTOR SHALL OBTAIN THE PERMITTING ENGINEERING OR ARCHITECTURAL PLANS BEFORE THE BEGINNING WORK.
5. THIS DESIGN IS BASED ON THE ASSUMPTION THAT EQUIPMENT SHOWN IN PLANNED AREAS IS FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SERVICES TO BE INSTALLED WITHIN PLANNED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL PROTECTION COVERAGE OF ALL PLANT MATERIAL INCLUDING TREES. SINGLE LINES SHOWN MAY REPRESENT MULTIPLE LINES OF CONDUIT. PVC WATER LINES OR PVC SLEEVES DEPENDENT ON INSTALLATION DESIGN REQUIREMENTS.
6. DO NOT MULTIPPLY, INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS CONFLICTING IN THE FIELD THAT UNKNOWN CONDITIONS SUCH THAT THERE BE NO EVIDENT AT THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SERVICES TO BE INSTALLED WITHIN PLANNED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL PROTECTION COVERAGE OF ALL PLANT MATERIAL INCLUDING TREES. SINGLE LINES SHOWN MAY REPRESENT MULTIPLE LINES OF CONDUIT. PVC WATER LINES OR PVC SLEEVES DEPENDENT ON INSTALLATION DESIGN REQUIREMENTS.
7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
8. LOCATION OF EXISTING ELECTRICAL AND WATER CONNECTIONS (POOD MAY ALTER LOCATION OF EXISTING ELECTRICAL AND WATER CONNECTIONS REQUIRED PRIOR TO INSTALLATION).
9. ALL UTILITIES AND SERVICES TO BE INSTALLED WITHIN PLANNED AREAS SHALL BE DETERMINED IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE.
10. CONTRACTOR TO PROVIDE AN ADDITIONAL PLOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER.
11. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SO4, 40 SLEEVES TWICE THE DIAMETER OF THE PIPE REQUIRED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SO4, 40 SLEEVES TWICE THE DIAMETER OF THE PIPE REQUIRED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED WITHIN A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 7' PAST THE EDGE OF THE PAVING.
12. ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHIELD OR GROUND COVER AREAS. SLEEVES SHALL BE INSTALLED IN A SO4, 40 SLEEVES TWICE THE DIAMETER OF THE PIPE REQUIRED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED WITHIN A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 7' PAST THE EDGE OF THE PAVING.
13. ALL VALVES SHALL NOT EXCEED MANUFACTURERS SPECIFICATIONS.
14. VALVE BOXES TO BE INSTALLED WITHIN CONTROLLER AND STATION NUMBER 15. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 16. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 17. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 18. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 19. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 20. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 21. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 22. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 23. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 24. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 25. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 26. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 27. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 28. SLOPE TO THE FOLLOWING WATER TO THE STREET AND STATION NUMBER 29. 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1. CONTRACTOR IS RESPONSIBLE TO PROGRAM CONTROLLER IN ORDER TO APPLY ANTI-CLOGGING MECHANISM TO MAINTAIN VIGOROUS PLANT GROWTH IN GROUND AREAS, OR AS REQUIRED BY THE LANDSCAPE ARCHITECT DUE TO TEMPERATURE DIFFERENCES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR TUNING OFF CONTROLLERS DURING INCIDENT WEATHER.
3. CONTRACTOR SHALL BE RESPONSIBLE TO REGULARLY INSPECT AND EXAMINE THE SPRINKLER SYSTEM WITH RESPECT TO PROPER FUNCTION AND MUST CLEAN HEADS TO ASSURE PROPER FUNCTION.
4. THE CONTRACTOR SHALL INFORM THE OWNER IMMEDIATELY OF ANY PARTS WHICH NEED REPAIR OR REPLACEMENT RESULTING FROM THEFT OR ANIMALS. REPLACEMENT COSTS DUE TO VANDALISM OR THEFT WILL BE BORNE BY THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT COSTS DUE TO DAMAGE RESULTING FROM HIS OPERATIONS.
6. CONTRACTOR SHALL PERFORM ALL REPAIRS, REPLACEMENTS, STRAIGHTENING, PAING, ETC., OF THE SPRINKLER SYSTEM AS IS APPLICABLE TO ISSUES AND SPRINKLER BEING USED. ANY REPAIR OR REPLACEMENT MUST CONFORM TO TYPE AND KIND CONSTRUCTION USED. ANY REVISION MUST BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
7. ALL PAVED AREAS SHALL BE KEPT FREE OF RUBBISH AND DEBRIS AND WILL BE SWEEPED, AND ALL UNPAVED AREAS, OTHERWISE CLEANED EACH VISIT TO ASSURE A CLEAN AND NEAT APPEARANCE.
8. PROTECT BUILDINGS FROM WATER SPLASHING AND SOIL STAINING.

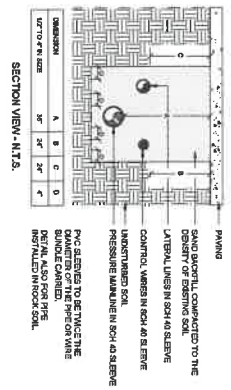
DRIP SYSTEM NOTES:

1. ALL LATERAL LINES FOR DRIP SYSTEM SHALL BE PVC AS SHOWN IN THE LEGEND. POLY TUBING SHALL BE CONNECTED TO THE PVC LATERAL LINES IN LOCATIONS ALONG THE LATERAL LINE ROUTE IN QUANTITIES AND LOCATIONS REQUIRED BY THE PLANT GROUPS AND THE MAXIMUM POLY TUBING RUN AS INDICATED IN THE DETAILS.
2. CONNECT POLY TUBING TO PVC AS PER DETAIL. DRIP TUBING ROUTE THROUGH PLANT MASSING SHALL BE LOCATED TO BE CLOSE TO THE PLANT MASSING TO BE IRRIGATED. THE TUBING RUN SHALL BE COVERED TO PLANT MAX. DISTANCE 4 FT. STAKE ALL DRIP TUBING TO GROUND USING WIRE STAKES. COVER ALL DRIP TUBING COMPLETELY WITH MULCH SPECIFIED ON LANDSCAPE PLANS.
3. AT ALL PAVED PLANTER, PROVIDE 1" PVC SLEEVES THROUGH MASONRY FOR DRIP IRRIGATION LINES.
4. CONTRACTOR TO PROVIDE THE QUANTITY OF EMITTERS BASED ON THE ACTUAL PLANT COUNT AND THE EMITTER RADIUS SHOWN. ANY REFERENCE TO EMITTER QUANTITIES ON THE LANDSCAPE PLANS SHALL BE BASED ON THE ACTUAL PLANT COUNT AND THE EMITTER PLANTER TUBING SYSTEM INSTALLED. VERIFY THE ACTUAL PLANT COUNTS AND SIZES FROM THE LANDSCAPE PLANS PRIOR TO ORDERING OR INSTALLING WORK.
5. DRIP SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE THE USING OF EMITTERS TO COMPENSATE FOR FUTURE PLANT GROWTH. MAINTENANCE PERSONNEL SHALL UPGRADE EMITTER SIZES AS REQUIRED TO PROVIDE ADEQUATE WATER FOR HEALTHY PLANT GROWTH.

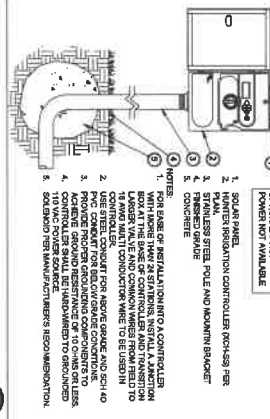


PLANT EMITTER LEDCEND		
PLANT NAME	# OF EMITTERS	# OF SUBSTRATA
1. DIALOON	2 - 0.5 GPH	
5. DIAL & LAMCEND SUBSTRATA	2 - 0.5 GPH	
14. DIAL & LAMCEND SUBSTRATA	2 - 1.00 GPH	
17. 2.5" PVC, THREE	6 - 10.00 GPH	
17. 2.5" PVC, ONE LAMCEND, THREE	10.00 GPH	21 TIMES SUBSTRATA EMITTER PER TIME

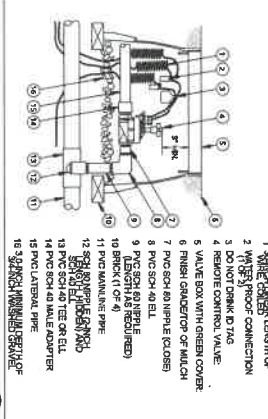
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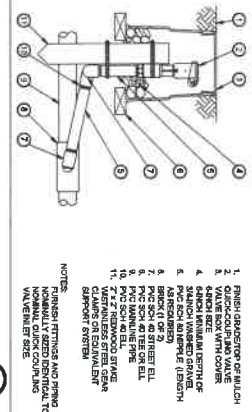
SLEEVE INSTALLATION
SCALE: N.T.S.



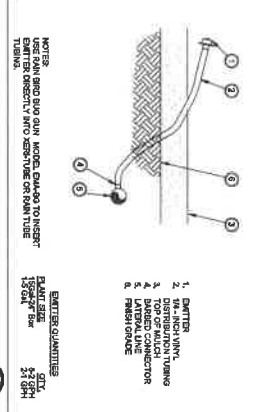
HYBRID CONTROLLER
SCALE: N.T.S.



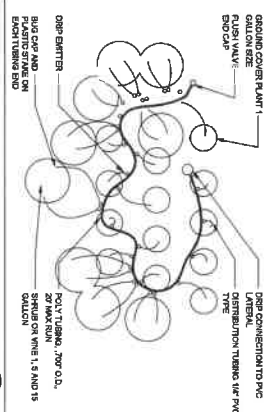
TURF VALVE
SCALE: N.T.S.



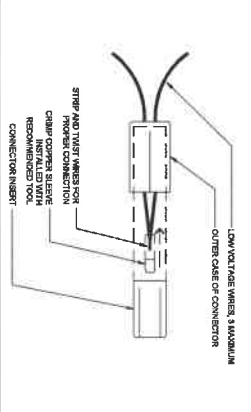
QUICK-COUPLING VALVE
SCALE: N.T.S.



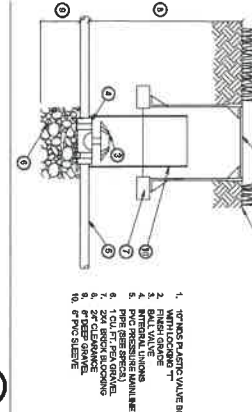
DRIP EMITTER
SCALE: N.T.S.



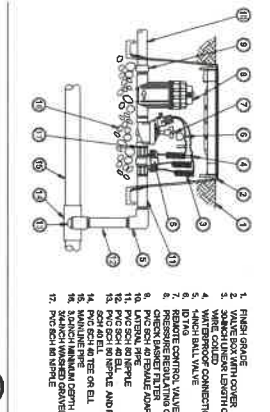
DRIP LINE LAYOUT
SCALE: N.T.S.



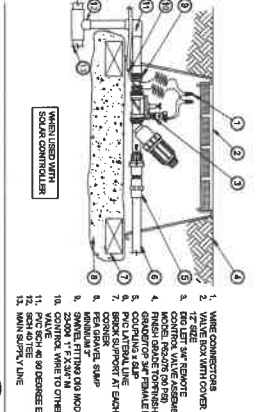
WIRE CONNECTION
SCALE: N.T.S.



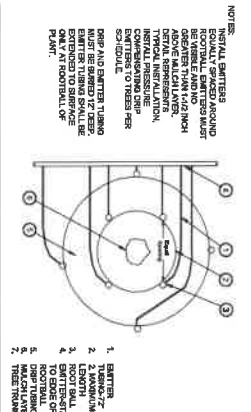
BALL VALVE
SCALE: N.T.S.



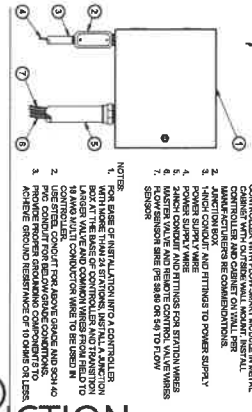
DRIP VALVE WITH PRESSURE REGULATOR
SCALE: N.T.S.



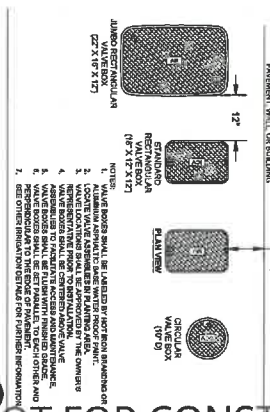
DRIP CONTROL ZONE KIT
SCALE: N.T.S.



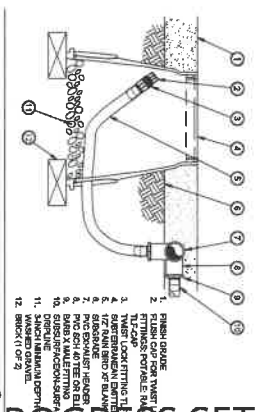
TREE DRIP LINE LAYOUT
SCALE: N.T.S.



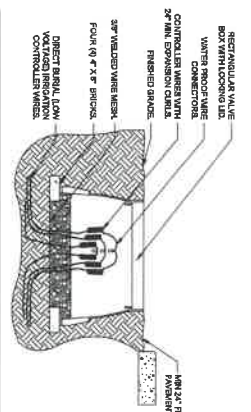
CONTROLLER
SCALE: N.T.S.



VALVE BOX PLACEMENT
SCALE: N.T.S.



FLUSH VALVE
SCALE: N.T.S.



ELECTRICAL PULL BOX (LOW VOLTAGE)
SCALE: N.T.S.

PROGRESS SET - NOT FOR CONSTRUCTION

























NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE WHEN MAP IS REDUCED FROM THIS ORIGINAL

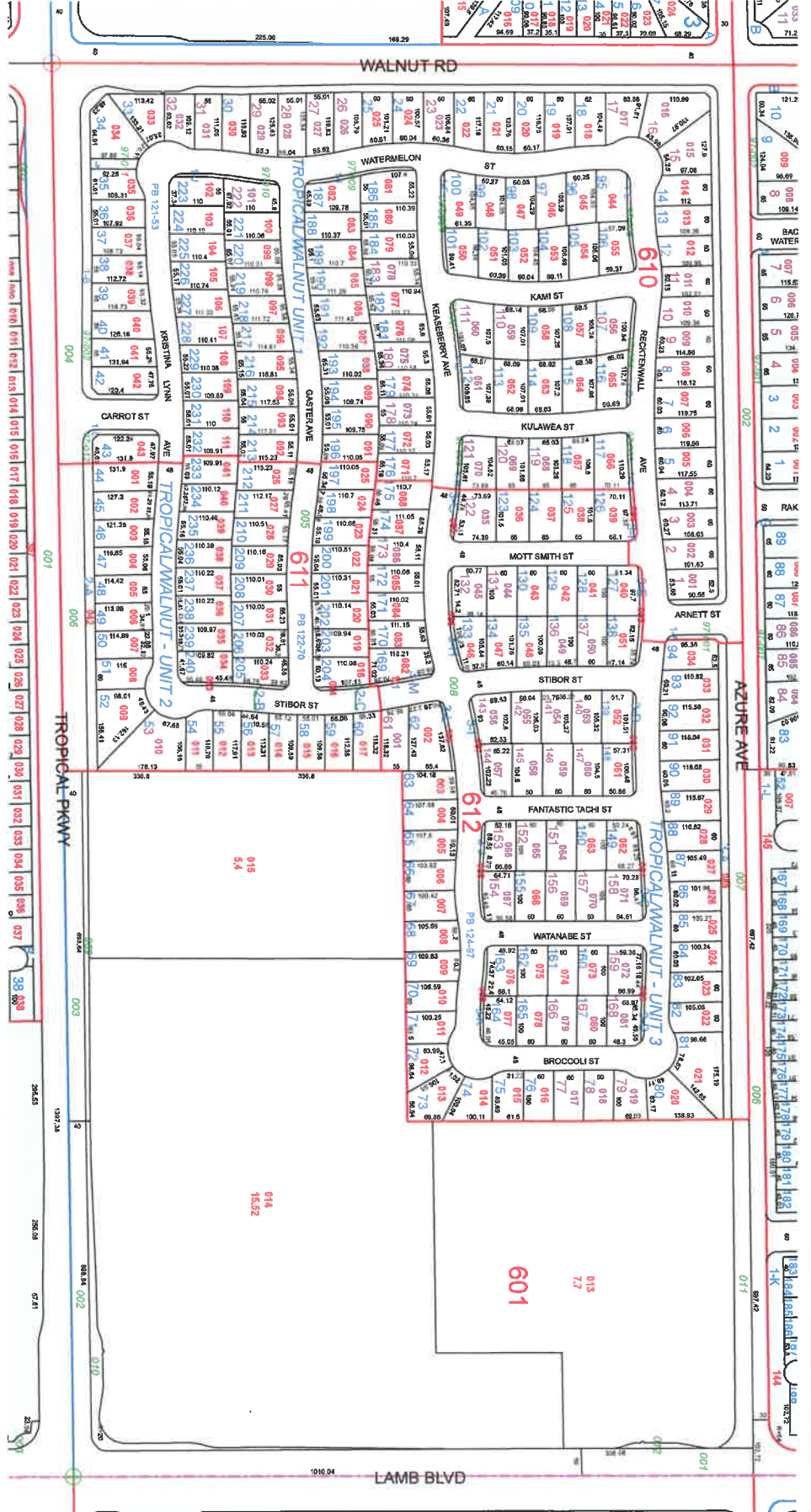
MAP LEGEND

- Parcel Boundary
- Condominium Unit
- Right of Way
- Match/Leader Line
- Historic Sub Boundary
- Section Line
- Parcel Number
- Block Number
- Lot Number
- Right of Way
- Match/Leader Line
- Historic Sub Boundary
- Section Line

BOOK	LOT	PARCEL NUMBER
119S R62E	101	102 103
	124	123 122
	139	140 141

Scale: 1" = 200'	Rev: 1/8/2019
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Section	Block	Lot
S 2 NE 4	30	1
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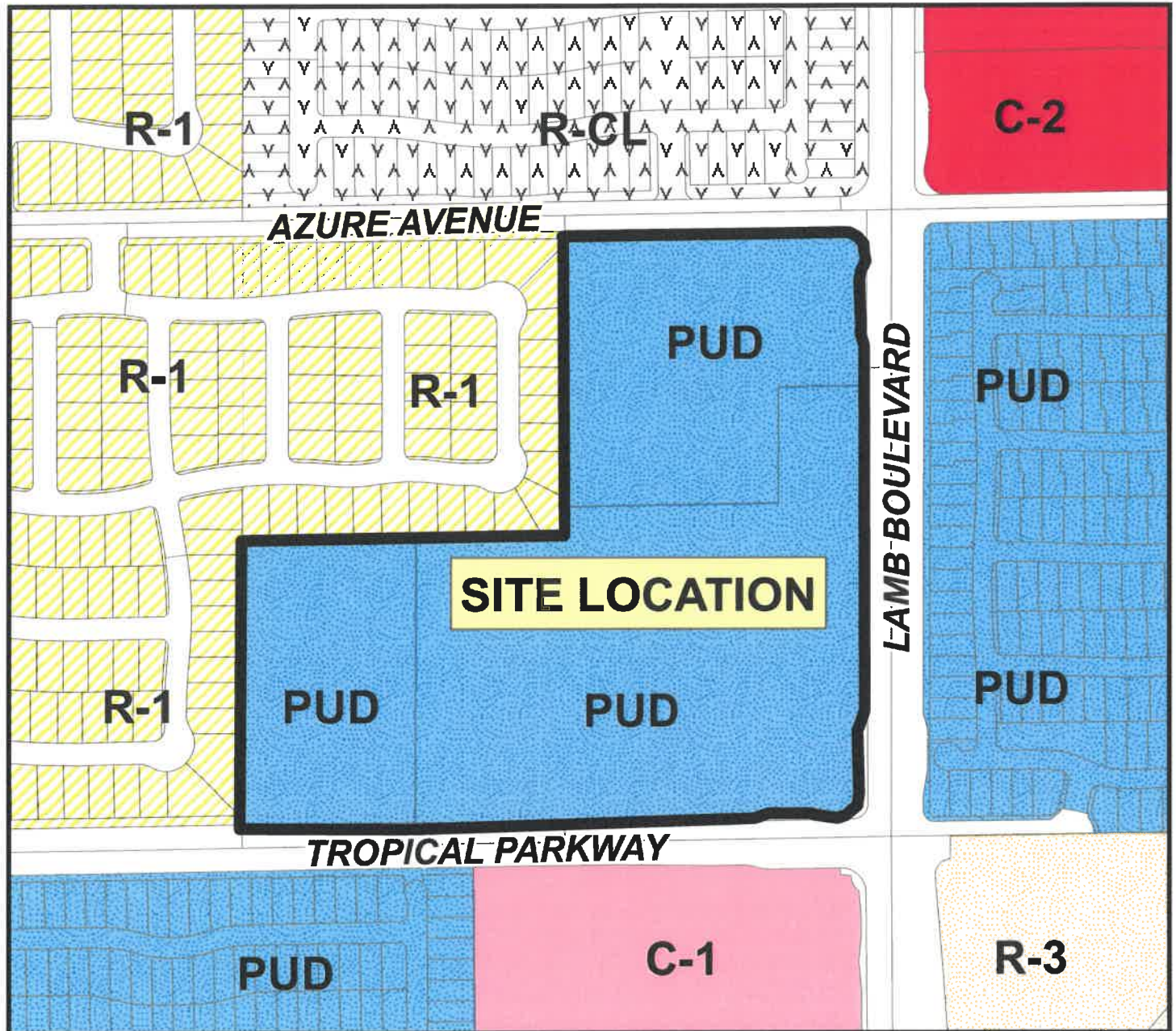


TAX DIST 254



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Richmond American Homes
Application: Final Development Plan
Request: To Develop 98 Single-Family Homes
Project Info: Northwest Corner of Tropical Parkway and Lamb Boulevard
Case Number: FDP-04-2021

4/12/2021

