

ORDINANCE NO. 2871

AN ORDINANCE RELATED TO ZONING; AMENDING SECTION 010 OF CHAPTER 16 OF TITLE 17 OF THE CITY OF NORTH LAS VEGAS MUNICIPAL CODE BY RECLASSIFYING APPROXIMATELY 29.38± ACRES THEREIN FROM AN R-1, SINGLE-FAMILY LOW DENSITY DISTRICT TO A C-2, GENERAL COMMERCIAL DISTRICT (ZN-02-18, PRE CRAIG CLAYTON, LLC), FOR PROPERTY GENERALLY LOCATED AT THE NORTHWEST CORNER OF CRAIG ROAD AND THE SCOTT ROBINSON BOULEVARD ALIGNMENT, AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

WHEREAS, the rezoning is consistent with the Comprehensive Plan; and

WHEREAS, the Council determines that the amendment will not adversely affect the health and general welfare; and,

WHEREAS, according to Paragraph B of Section 70 of Chapter 12 of Title 17 of the North Las Vegas Municipal Code, the City Council may, by ordinance, reclassify property.

NOW THEREFORE, the City Council of the City of North Las Vegas does ordain:

SECTION 1: In accordance with the provisions of Ordinance No. 2871 the following described parcel of land shall be reclassified as follows:

R-1, SINGLE-FAMILY LOW DENSITY DISTRICT TO A C-2, GENERAL COMMERCIAL DISTRICT (ZN-02-18), THE FOLLOWING PROPERTY DESCRIBED TO WIT:

APN: 139-04-201-016,017

BEING LOT 1 AND 2 AS SHOWN ON THAT MAP ON FILE IN FILE 122 OF PARCEL MAPS, PAGE 055 IN THE CLARK COUNTY RECORDER'S OFFICE IN SECTION 4, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF NORTH LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

SECTION 2: The General Commercial (C-2) District herein is subject to the development standards and requirements of the North Las Vegas Municipal Code:

SECTION 3: NON-INFRINGEMENT OF RIGHTS. The City Council of the City of North Las Vegas has been informed by the City Attorney as to the constitutionality of this ordinance and based upon such information we are adopting this ordinance in good faith with a reasonable belief that the actions taken by the City of North Las Vegas are not in violation of any rights, privileges, or immunities secured by the laws providing for equal rights of citizens or persons.

SECTION 4: SEVERABILITY. If any section, paragraph, clause or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall in no way affect the validity and enforceability of the remaining provisions of this Ordinance.

SECTION 5: EFFECTIVE DATE. This Ordinance shall become effective after its passage by the City Council of the City of North Las Vegas and, after such passage by the City Council, publication once by title in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

SECTION 6: PUBLICATION. The City Clerk shall cause this Ordinance, immediately following its adoption, to be published once by title, together with the names of the Councilmen voting for or against passage, in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

PASSED AND ADOPTED THIS 21st day of March 2018.

AYES: Mayor Lee, Mayor Pro-Tempore Cherchio, Council Members
Goynes-Brown, Barron and Black

NAYS: None

ABSENT: None

APPROVED:



JOHN J. LEE, MAYOR

ATTEST:



CATHERINE A. RAYNOR, MMC
CITY CLERK

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Amy Michaels, Principal Planner, Land Development & Community Services Dept.
From: Robert Weible, Land Development Project Leader, Department of Public Works
Subject: ZN-03-2021 **Noble Peak**
Date: February 17, 2021

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on the preliminary development plan, tentative map and the civil improvement plans. Geological hazards such as fault lines or fissures affecting residential structures may substantially alter the tentative map layout and require the submission of a revised tentative map which must be approved by the City prior to final approval of the civil improvement plans. The footprint of proposed structures shall be plotted on all lots impacted by faults and/or fissures and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans.
3. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.
4. The property owner is required to grant roadway easements where public and private streets intersect.
5. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way.
6. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040. Conformance may require modifications to the site.
7. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1 and 222.
8. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
9. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
10. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**: <http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.



Robert Weible, Land Development Project Leader
Department of Public Works

RAH2018

ZN-000003-2021February 16th, 2021

City of North Las Vegas
Current Planning Department Staff
2250 Las Vegas Boulevard North
North Las Vegas, NV 89032

Re: Noble Peak – Zone Change Letter of Intent

APN: 139-04-201-021

Westwood Professional Services on behalf of our client, Richmond American Homes, respectfully submits this letter of intent for a Zone Change (ZC) application.

The proposed development is a single-family attached residential community located near the northeast corner of the Craig Road and Clayton Street intersection, adjacent to Scott Robinson Blvd. The parcel is Lot 2 on the recorded Parcel Map 126-50, Assessor's Parcel Number 139-04-201-021. The parcel is ~6.5 acres with 70 lots, resulting in a density of ~10.8 du/ac.

The parcel currently falls within the Mixed-Use Neighborhood land use and the parcel zoning is General Commercial (C-2). The developer proposes to rezone the parcel to a Planned Unit Development (PUD). The project aligns with the purpose of the Mixed-Use Neighborhood land use as it provides an integrated, pedestrian friendly location and layout, and aligns within the allowable density range of 6.01 du/acre, up to 18 du/acre. The creation of the PUD allows the development of an innovative new residential product that presents greater opportunity for a housing type and design that can extend to all citizens and residents of North Las Vegas.

The housing product creates a single family attached neighborhood with a higher density conveniently located near commercial developments, providing a compatible and stable environment for the surrounding area. Moreover, the single family attached neighborhood is the ideal buffer between the single family detached homes adjacent to Clayton and the three story multi family project approved east of the site.

The efficient design of the project incorporates reduced street widths that require less pavement and utilities since the homes are spaced closer together. The applicant is proposing a 30 foot wide internal private street to access the garages which sit at rear of the residences. This street width is 10 feet wider than what has been constructed in the same community within the Cadence master planned community in Henderson and is the same size for the similar community in Summerlin. The homes will only be attached on one side which provides space for a private enclosed side yard on the other side of each property. This side yard will include its own private enclosed courtyard. There are two models which range in size from 1,510-1,520 SF. All homes will also include a porch in the front. The front of the homes will be articulated with stone veneer and other architectural enhancements.

The project proposes private local residential streets with electronic gates at the entry. In addition to the homes having two car garages, 35 guest parking stalls are provided throughout the project and there will be private streetlighting provided at the same spacing as public streets. The homes will have fire sprinklers installed. The City of North Las Vegas private street policy requires 5ft sidewalks on both sides of the street. This project proposes a larger 7ft sidewalk around the perimeter and between homes in the center of the project to offset the need for 5ft sidewalks on both sides of the internal private streets. There are additional 4ft sidewalks throughout the project and three pedestrian access gates along Scott Robinson Blvd to further promote pedestrian connectivity and walkability.

The interior open space provided exceeds 500/SF per lot. A single large centrally located common element is proposed containing 75% of the required interior open space. This central common element will include neighborhood park amenities. The remaining required interior open space will be distributed throughout the project. Additional landscaping is provided inside the community and along the perimeter but is not counted towards the total interior open space being provided. The pedestrian corridor in the middle of the site will have a landscape easement over the space between the porches for the Home Owners Association to maintain the landscape in this area. Finally, the single family homes are separated by ~42ft feet from front door to front door. This allows for substantial separation between the fronts of each single family attached home. We have provided an additional exhibit to demonstrate this separation, landscape easement and the larger pedestrian walkway.

The site plan included with the application shows the general layout of the project and the single access proposed from Scott Robinson Blvd. A secondary fire access will be provided. A typical lot width is ~25.8ft and all lots are larger than 2,000sqft. The proposed building setbacks which will be met for each lot are listed on the included site plan and below.

Setbacks

Front – 12'

Porch – 10'

Side Yard – Building (Interior) – 5'

Side Yard – Building (Corner) – 5'

Attached Building to Building – 0' and 4'

Rear – Garage – 4'

Rear – Living – 4'

This project helps meet the demand for pedestrian friendly residential neighborhoods that target first time home buyers. These homes will bring additional population to area that will utilize the surrounding commercial centers while reducing the vacant lots.

A traffic study will be prepared to support the minimal impact of the project. A technical drainage study and water network analysis will also be completed in support of the improvement plans for the project.

The entitlements will be complete near the end of April 2021 and the technical studies/design plans/final map will be finished in the 4th quarter of 2021. Grading is expected to start in September 2021 and offsite construction should be complete towards the end of 2022.

Please contact our office at 702-284-5300 if you have any questions or require additional information. Thank you for your consideration of this project.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



Kevin Bross, PE
Project Manager II
CC:

Angela Pinley, Richmond American Homes
Chelsea Jensen, Westwood

REVISED
02/17/2021

02/17/2021

ZN-000003-2021



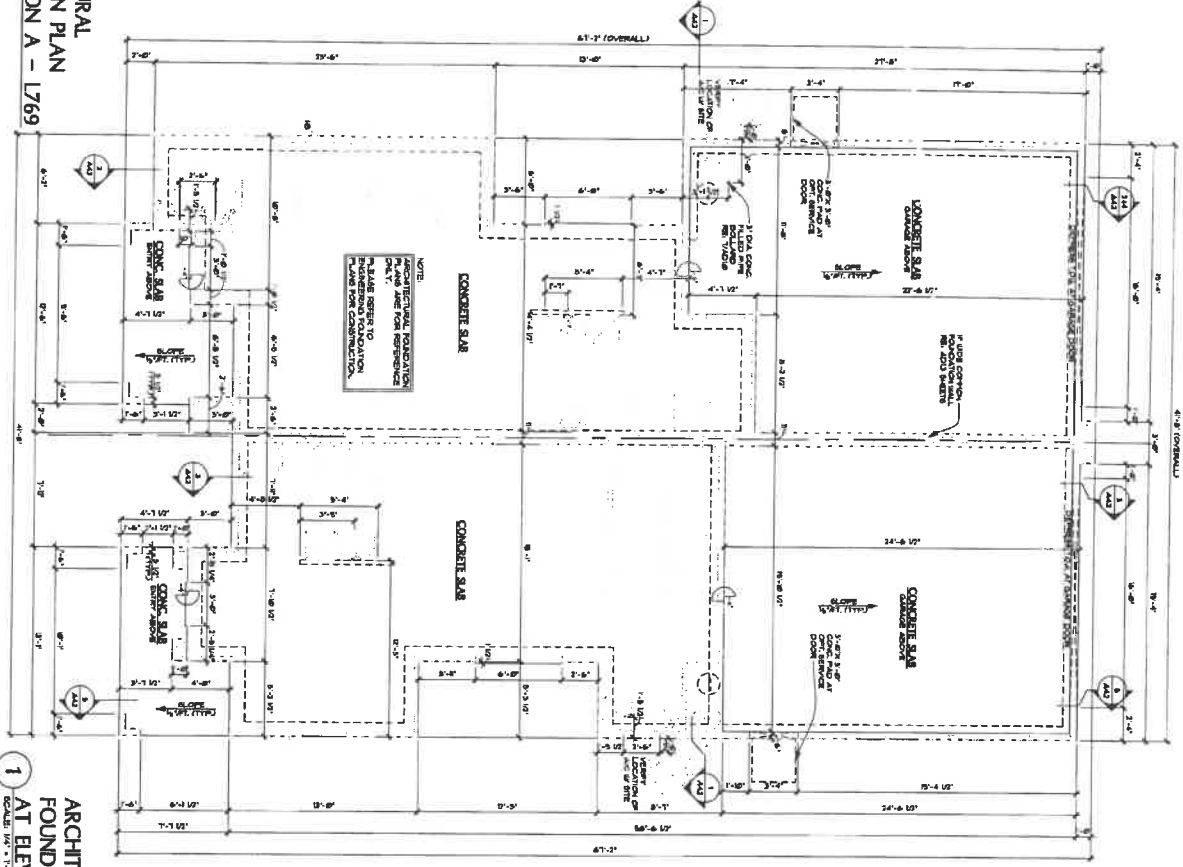
SCALE 1" = 20'



SETBACKS	
POINT	17'
POPCO	36'
SOC TANK - BUILDING (ENTRANCE)	31'
SOC TANK - BUILDING (CORNER)	31'
SOC TANK - LIMIT	0' AND 6"
SEAL - GARAGE	
SEAL - LIVING	



2
ARCHITECTURAL
FOUNDATION PLAN
AT ELEVATION A - L769
SCALE: 1/8" = 1'-0"



1
ARCHITECTURAL
FOUNDATION PLAN
AT ELEVATION A - L770
SCALE: 1/8" = 1'-0"

**PARTIAL ARCH. FOUNDATION
PLAN AT ELEVATION B - L769**

SCALE: 1/4" = 1'-0"

SEE L769 FOR ALL ELEVATIONS
NOTES AND DIMENSIONS

**PARTIAL ARCH. FOUNDATION
PLAN AT ELEVATION B - L770**

SCALE: 1/4" = 1'-0"

SEE L770 FOR ALL ELEVATIONS
NOTES AND DIMENSIONS

**PARTIAL ARCH. FOUNDATION
PLAN AT ELEVATION C - L769**

SCALE: 1/4" = 1'-0"

SEE L769 FOR ALL ELEVATIONS
NOTES AND DIMENSIONS

**PARTIAL ARCH. FOUNDATION
PLAN AT ELEVATION C - L770**

SCALE: 1/4" = 1'-0"

SEE L770 FOR ALL ELEVATIONS
NOTES AND DIMENSIONS

**OPT.
CENTER-MEET DOOR - L769**

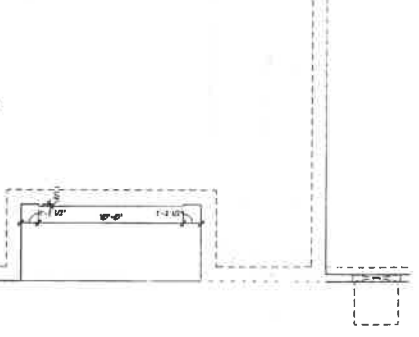
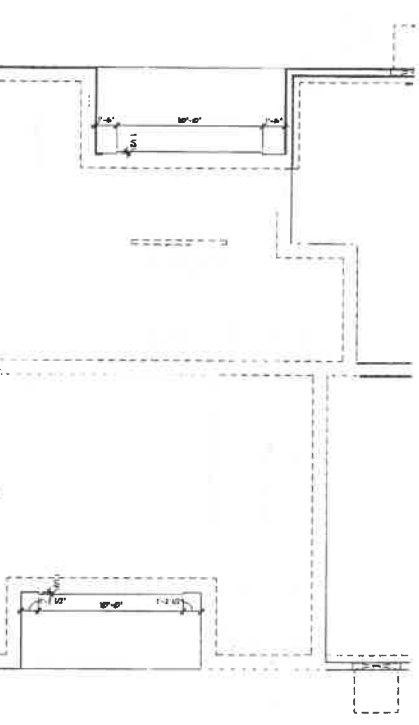
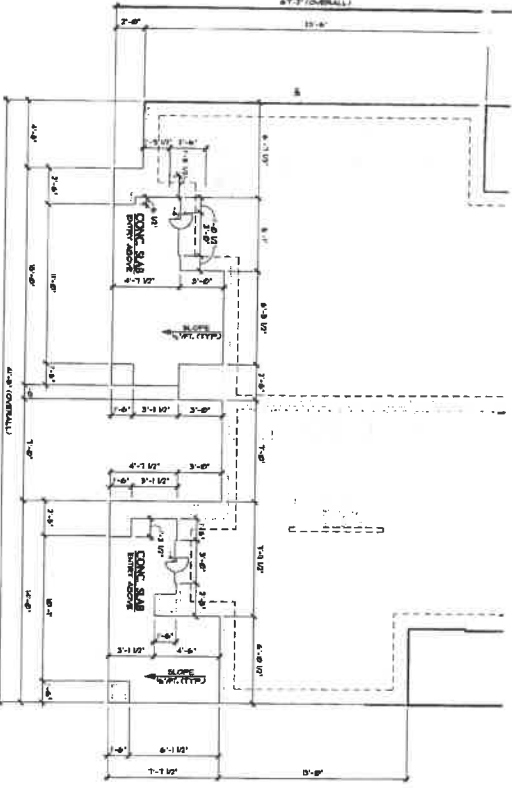
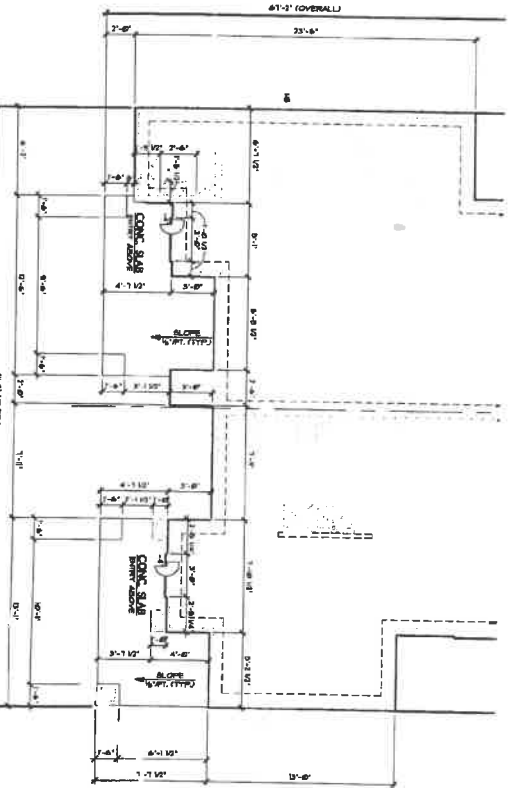
SCALE: 1/4" = 1'-0"

SEE L769 AT ALL ELEVATIONS
NOTES AND DIMENSIONS

**OPT.
CENTER-MEET DOOR - L770**

SCALE: 1/4" = 1'-0"

SEE L770 AT ALL ELEVATIONS
NOTES AND DIMENSIONS



RICHMOND
AMERICAN HOMES

LAS VEGAS
7770 Dean Martin Drive, 4308
Las Vegas, NV 89159 (702) 636-4400

License #0026417 / B-2 / Unlimited

Justin Boardman
Qualified Employee

Complete a set of architectural drawings for the Prelude at Caliente (L769) and L770. The drawings are to be used for the construction of the building. The drawings are to be used for the construction of the building. The drawings are to be used for the construction of the building.

PRELUDE
at Caliente
(L769 / L770)
BOSTON / CHICAGO
BOSTON / CHICAGO
BOSTON / CHICAGO

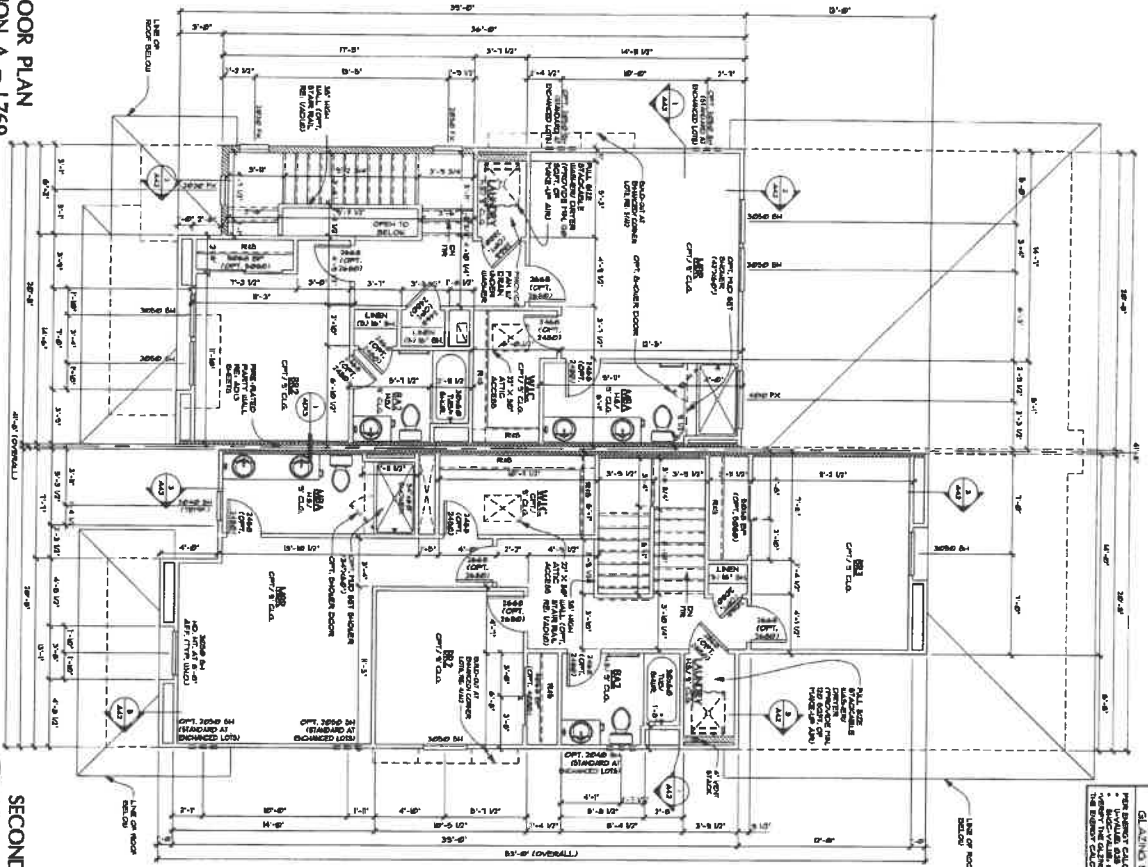
Plan Name:
BOSTON / CHICAGO
BOSTON / CHICAGO
BOSTON / CHICAGO

Sheet Title:
PARTIAL
ARCHITECTURAL
FOUNDATION
PLANS &
OPTIONS

Sheet Number:
A10
b

2
SECOND FLOOR PLAN
AT ELEVATION A - L769
SCALE: 1/8" = 1'-0"

1
SECOND FLOOR PLAN
AT ELEVATION A - L770
SCALE: 1/8" = 1'-0"



GLAZING NOTES
1. GLAZING TYPE: 1/2" CLEAR GLASS
2. GLAZING SYSTEM: 1/2" CLEAR GLASS WITH 1/2" ALUMINUM FRAME
3. GLAZING LOCATION: EXTERIOR WALLS
4. GLAZING AREA: 100 SQ. FT.

PLAN LEGEND
1. ROOMS: 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

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License #0026417 / B-2 / Unlimited

Justin Hazzard,
Qualified Engineer

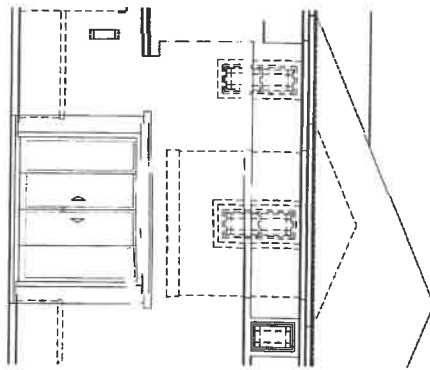
Project Name: **PRELUDE at Chelsea (DETROIT) HENDERSON**

Project Number: **L769 / L770**

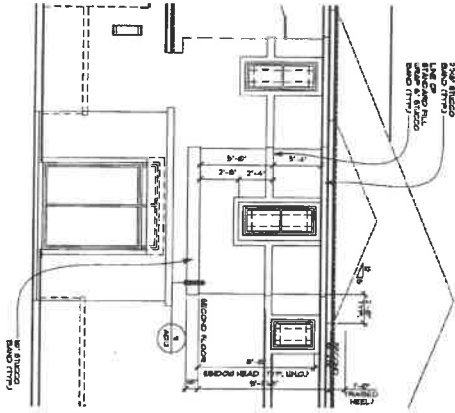
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Sheet Number: **A12**

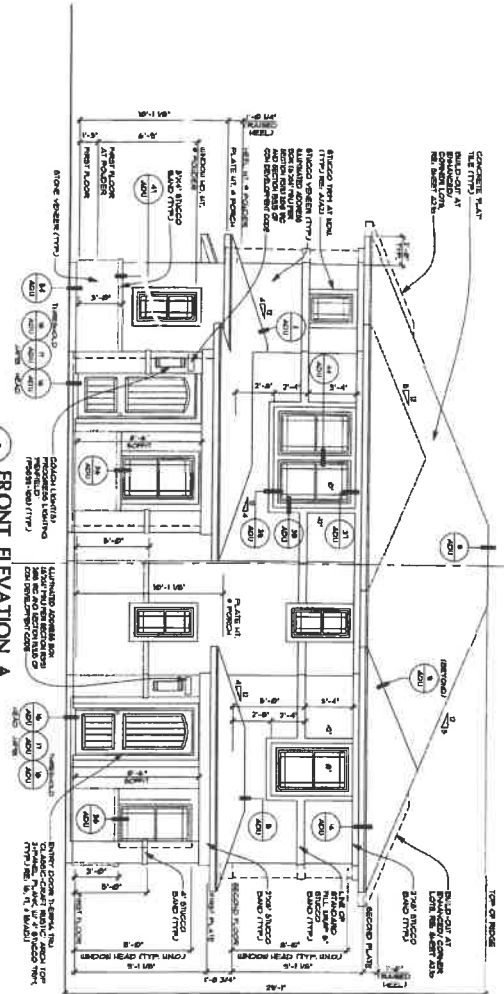
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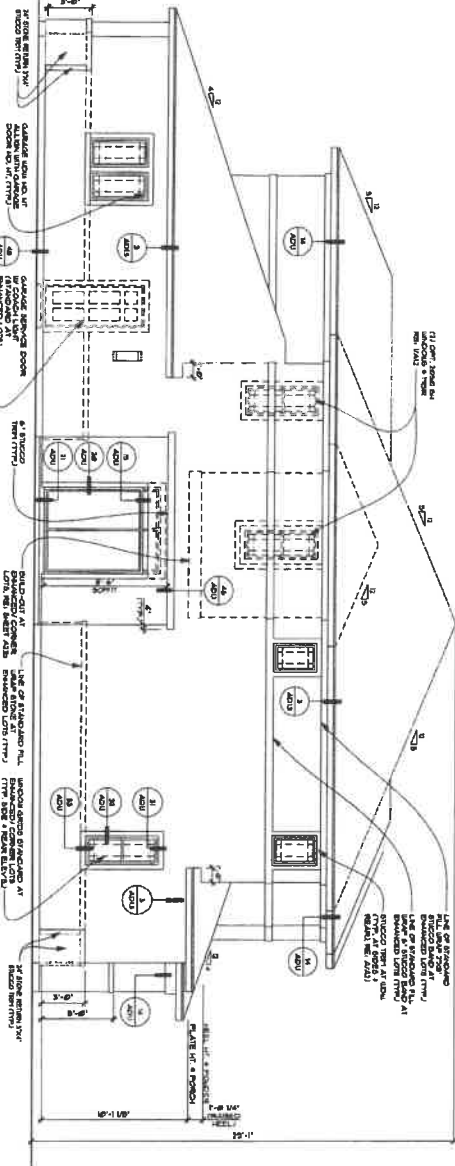
2b LEFT ELEVATION A W/
OPT. CENTER-MEET DOOR
SCALE: 1/4\"/>



2c LEFT ELEVATION A
W/ OPT. BUILD-OUT
AT ENHANCED LOTS
SCALE: 1/4\"/>



1 FRONT ELEVATION A
SCALE: 1/4\"/>



2a LEFT ELEVATION A
SCALE: 1/4\"/>

A WINDOW TRIM
SCALE: 1/4\"/>

ARCHITECTURAL STYLE:	
PRAIRIE	
(DUE TO ALLEY LOAD LOT)	
SECTION	DESCRIPTION
1	FOUNDATION
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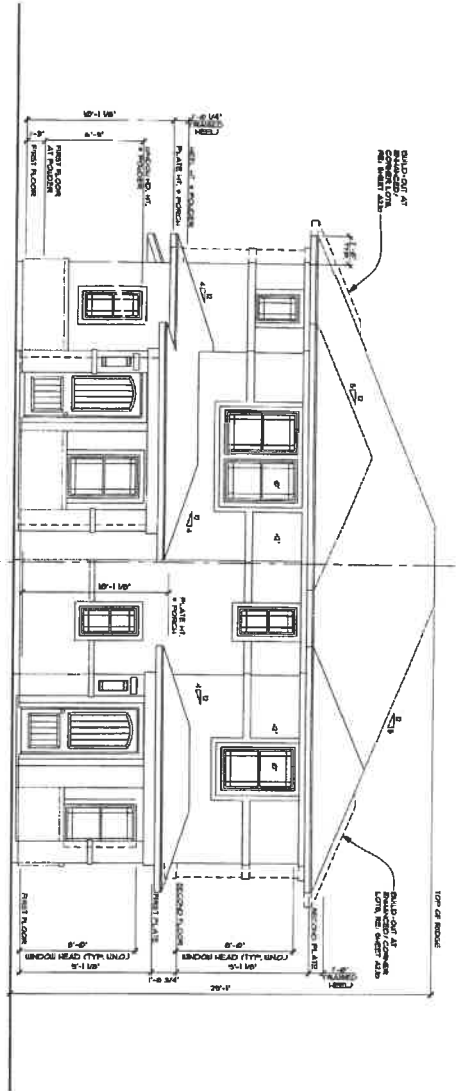
PRELUDE
at Chicago
(DUE TO II)
BENDERSON

Plan Number
L769 / L770

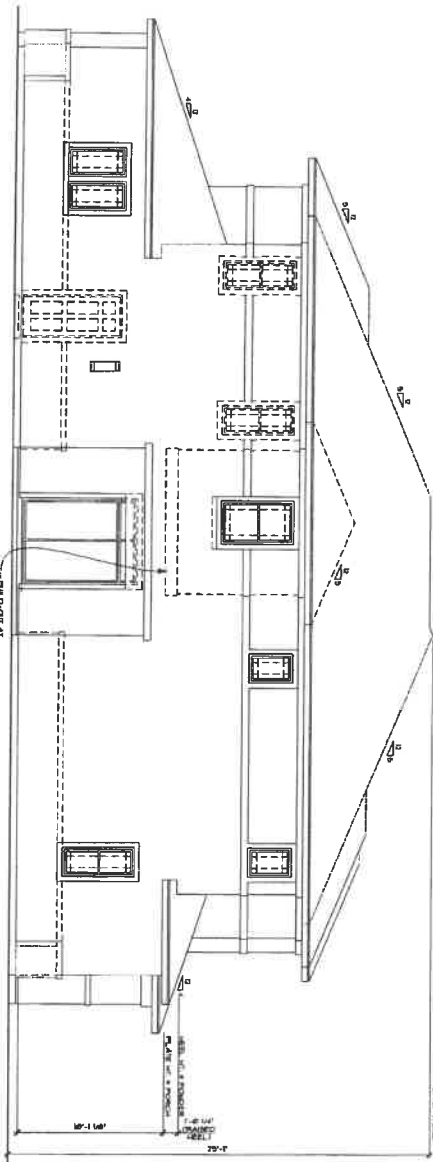
Plan Name
BOSTON / CHICAGO

Sheet Title
ELEVATION A

Sheet Number
A.21



5 FRONT ELEVATION A w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE LIST FOR ADDITIONAL NOTES AND SPECIFICATIONS



6 LEFT ELEVATION A w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE LIST FOR ADDITIONAL NOTES AND SPECIFICATIONS

A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYP. UNITS

ARCHITECTURAL STYLE:	
PRAIRIE	
(DUEB-ALLEY LOAD LOT)	
CLARENCE	
RATED ATTACHMENT (SECTION 514.2)	
ELEVATION X DESCRIPTION	
1	ROOF
2	EXTERIOR WALLS
3	INTERIOR WALLS
4	CEILING
5	FLOOR
6	DOOR
7	WINDOW
8	SCREEN
9	SCREEN
10	SCREEN
11	SCREEN
12	SCREEN
13	SCREEN
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15	SCREEN
16	SCREEN
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99	SCREEN
100	SCREEN



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PRELUDE
at Caliente
(DUEB-ALLEY)
HENDERSON

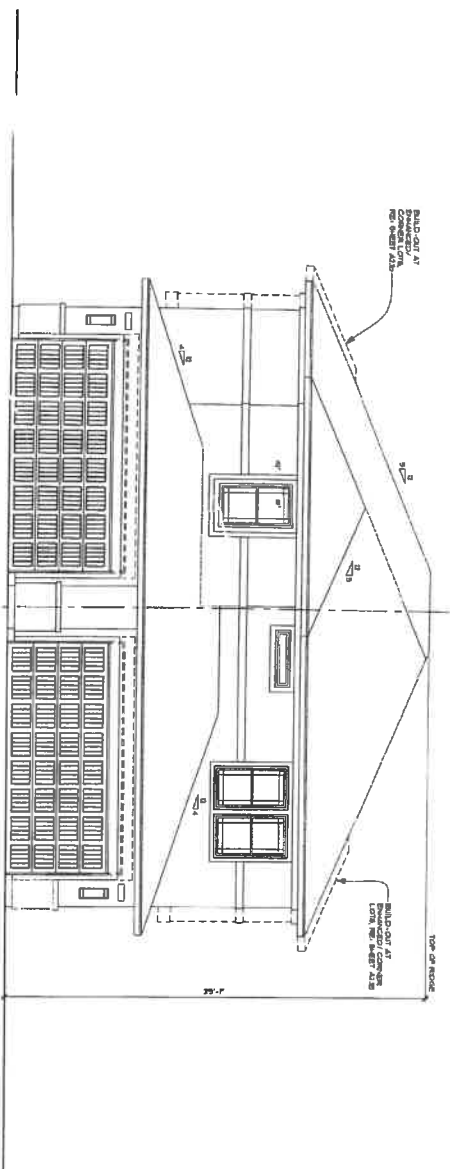
Plan Name:
BOSTON / CHICAGO
L769 / L770
Plan Number:
ELEVATION A
w/ OPT. BR3
AT L769

Sheet Number:
A2.1
c

Richmond
AMERICAN HOMES

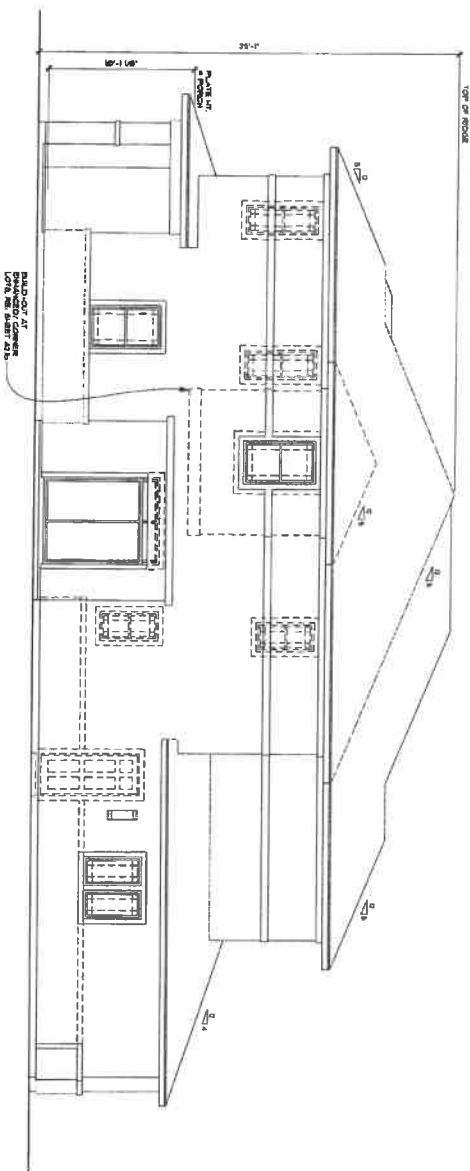
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Las Vegas, NV 89159 (702) 638-4400

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7 REAR ELEVATION A W/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE 3/433 FOR ADDITIONAL NOTES & DIMENSIONS

RE: WAS FOR ADDITIONAL NOTES: DEMENTIONAL



8 RIGHT ELEVATION A W/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
REV. 4/4/21 FOR ADDITIONAL NOTES & DIMENSIONS

FIG. 4(A2) FOR ADDITIONAL NOTES & DISCUSSION

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Las Vegas, NV 89139 (702) 635-4400

**Jurán Bozarth,
Qualified Employer**

a Bozarth,

PRELUDE

(Due 11/11)
HENDERSON

L769 / L770

Plan Name:

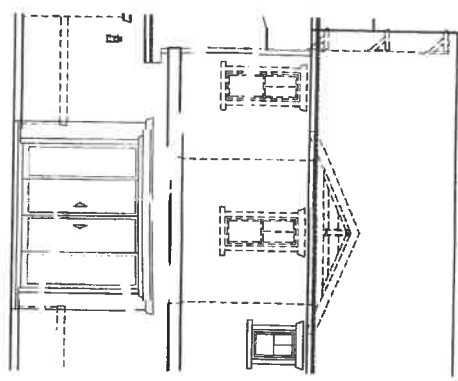
BOSTON / CHICAGO**Short Title:**

**ELEVATION A
W/ OPT. BR3
AT L769**

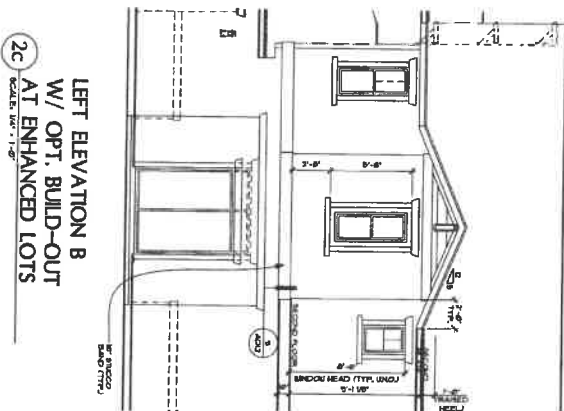
Sheet Number

A2.1

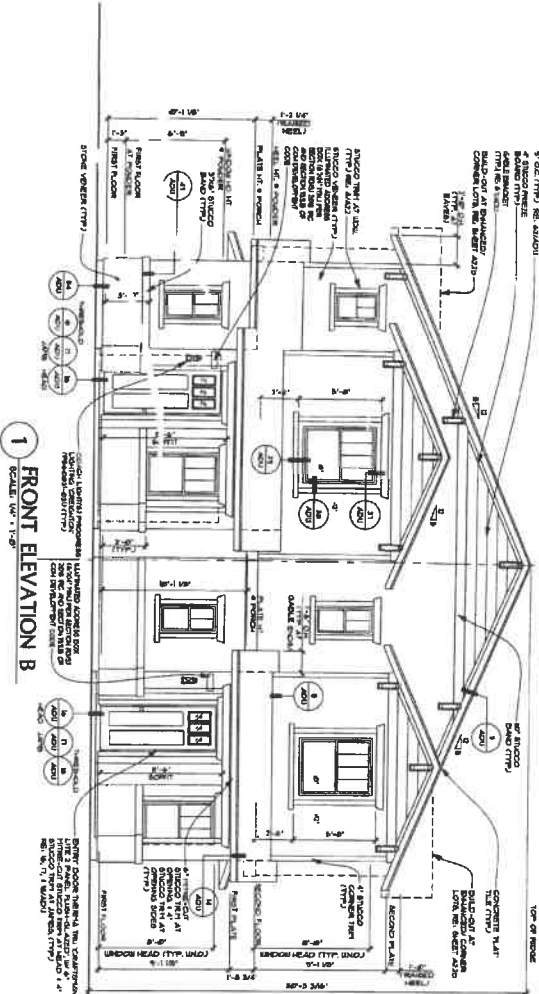
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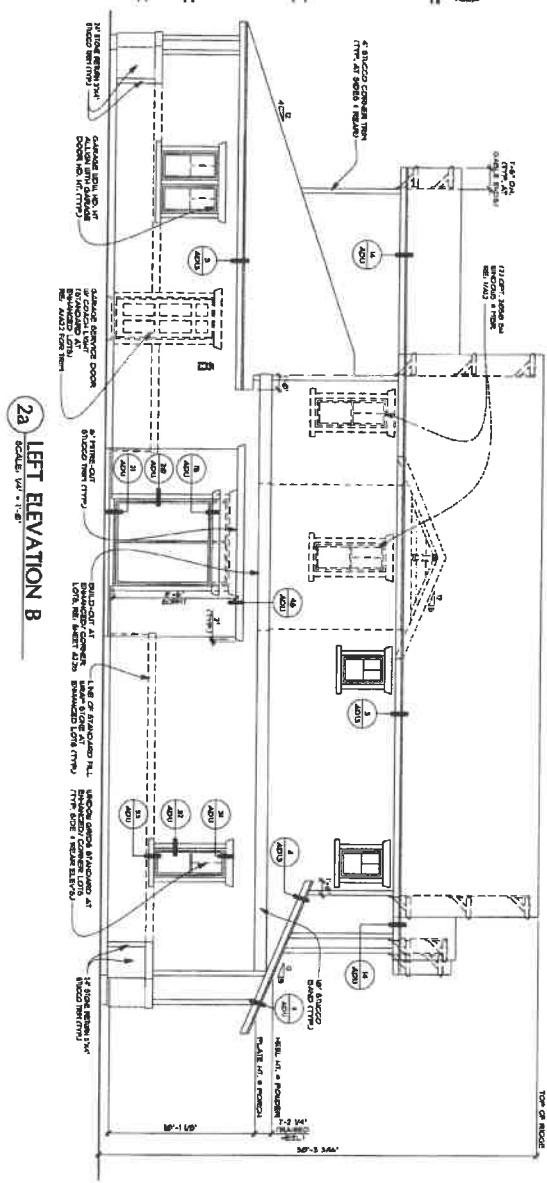
2b LEFT ELEVATION B W/
OPT. CENTER-MEET DOOR
SCALE 1/4" = 1'-0"



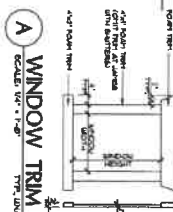
2c LEFT ELEVATION B
W/ OPT. BUILD-OUT
AT ENHANCED LOTS



FRONT ELEVATION B
SCALE: 1/4" = 1'-0"



2a LEFT ELEVATION B
SCALE: 1/4" = 1'-0"



A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYP. UNITS

[illegible]

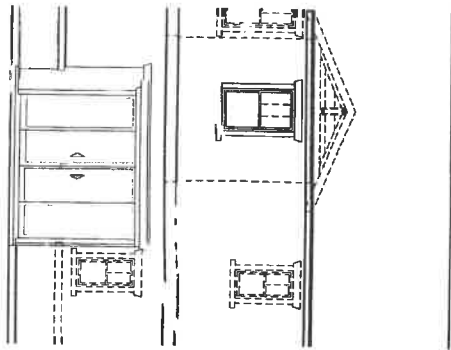
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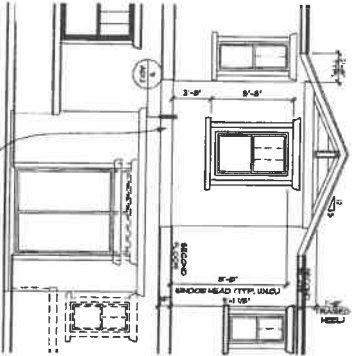
License: #0026417 / B-2 / Unlimited

Justin Bozarth,
Qualified Employee

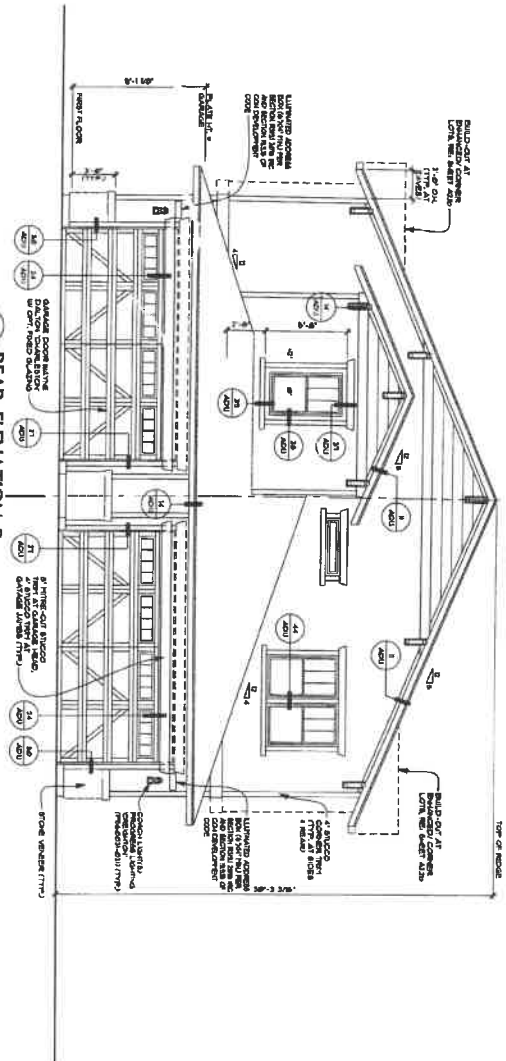
PRELUDE et Cadence (DETTO II) HERODIEN	Flan Number: L769 / L770	Flan Name: B091CN / CHC160	Sheet Title: ELEVATION B	Sheet Number: A2.2
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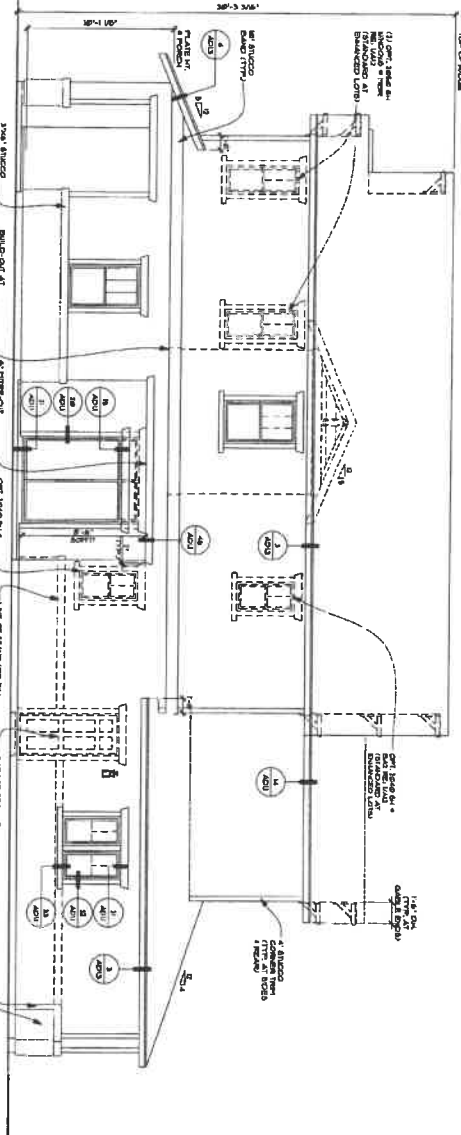
RIGHT ELEVATION B W/
OPT. CENTER-MEET DOOR
SCALE: 1/4" = 1'-0"
RE: WALL FOR ADDITIONAL
NOTES & DIMENSIONS



RIGHT ELEVATION B
W/ OPT. BUILD-OUT
AT ENHANCED LOTS
SCALE: 1/4" = 1'-0"
RE: WALL FOR ADDITIONAL
NOTES & DIMENSIONS



3 REAR ELEVATION B
SCALE: 1/4" = 1'-0"
RE: WALL FOR ADDITIONAL NOTES & DIMENSIONS



RIGHT ELEVATION B
SCALE: 1/4" = 1'-0"
RE: WALL FOR ADDITIONAL NOTES & DIMENSIONS

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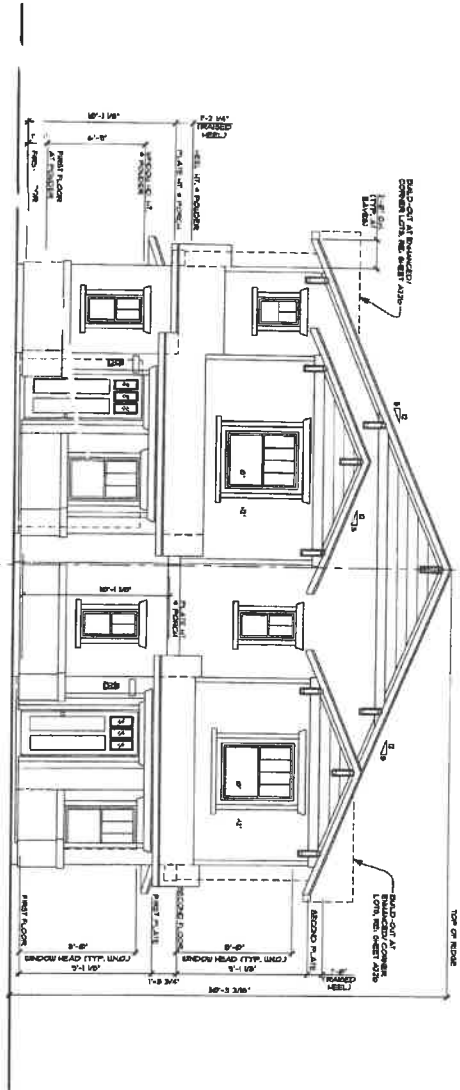
Justin Boush,
Qualified Employee

Prepared by: JPH
Reviewed by: JPH
Checked by: JPH
Designed by: JPH
Drawn by: JPH
Reviewed by: JPH
Checked by: JPH
Designed by: JPH
Drawn by: JPH

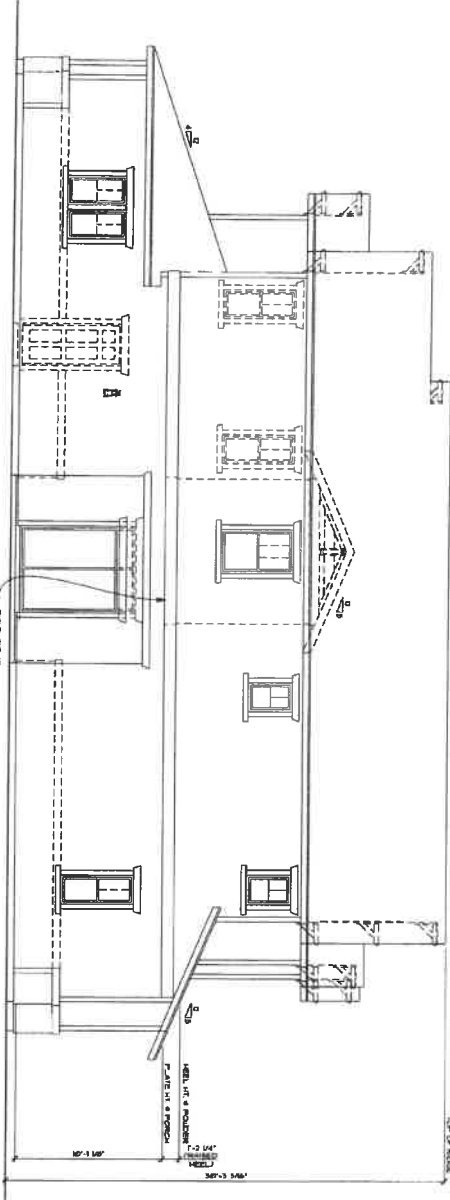
PRELUDE
#1 Cadence
(DETROIT II)
HENDERSON
Plan Number
L769 / L770

Plan Name
BOSTON / CHICAGO
Sheet Title
ELEVATION B

Sheet Number
A.2.2
b

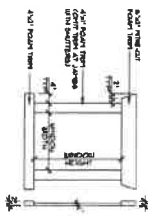


5 FRONT ELEVATION B w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE TABS FOR ADDITIONAL NOTES AND DIMENSIONS



6 LEFT ELEVATION B w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE TABS FOR ADDITIONAL NOTES AND DIMENSIONS

A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYP. UNLS



ARCHITECTURAL STYLE:	
BUNGALOW	
(ONE IS ALLEY LOAD LOT)	
CLAUDE	
RATED TITIGATION FEATURES (SECTION 514.4)	
ELEVATION B DESCRIPTIONS	POINTS
1. EXTERIOR FINISHES	1
2. EXTERIOR FINISHES	2
3. EXTERIOR FINISHES	3
4. EXTERIOR FINISHES	4
5. EXTERIOR FINISHES	5
6. EXTERIOR FINISHES	6
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98. EXTERIOR FINISHES	98
99. EXTERIOR FINISHES	99
100. EXTERIOR FINISHES	100

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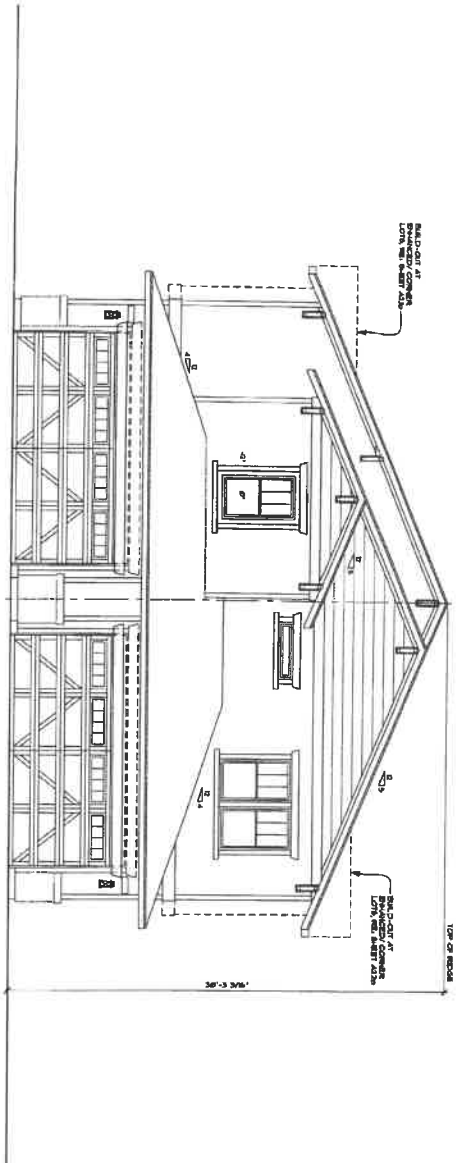
PRELUDE
at Caldera
(DUE TO)
HENDERSON

Plan Number:
L769 / L770

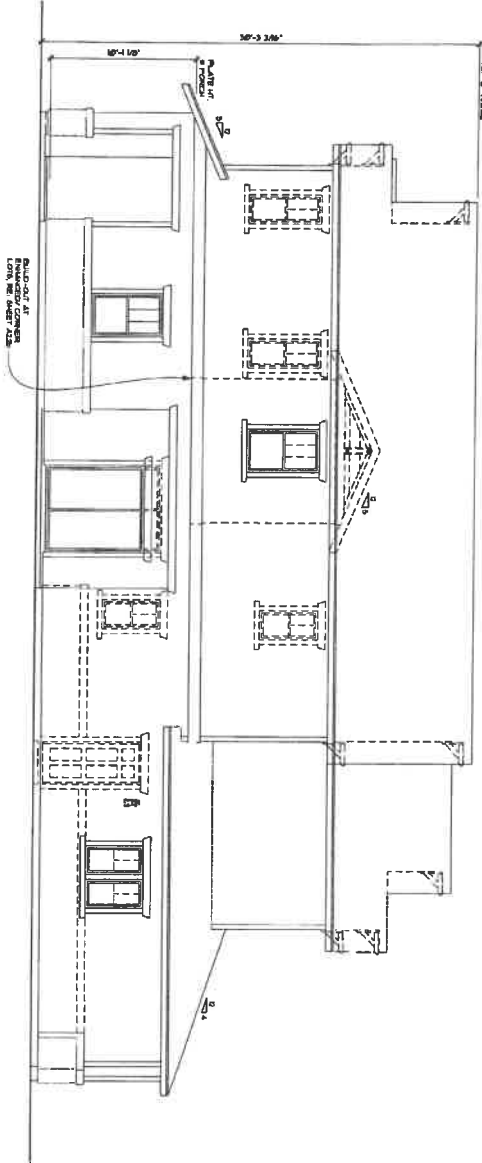
Item Name:
BOSTON / CHICAGO

Sheet Title:
**ELEVATION B
w/ OPT. BR3
AT L769**

Sheet Number:
A.2.2
C



7 REAR ELEVATION B w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE 3/10/2018 LAYOUTS, NOTES & SPECIFICATIONS



8 RIGHT ELEVATION B w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE 3/10/2018 LAYOUTS, NOTES & SPECIFICATIONS

[illegible]

Architectural drawing showing a window and door assembly with dimensions and labels:

- Window dimensions: 7'-0" (width) x 6'-0" (height).
- Door dimensions: 6'-0" (width) x 8'-0" (height).
- Labels: "WALL FINISH", "WOOD TRIM (INCL)", "WOOD TRIM (EXCL)", "FRAMED REEL".
- Other dimensions: 1'-0" (width of door frame), 1'-0" (width of door frame), 1'-0" (width of door frame).

[illegible]

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Qualified Employee**

PRELUDE
at Cadence
(DUETTO II)
HENDERSON

Plan Number:

L769 / L770

Plan Name: **BOSTON / CHICAGO**

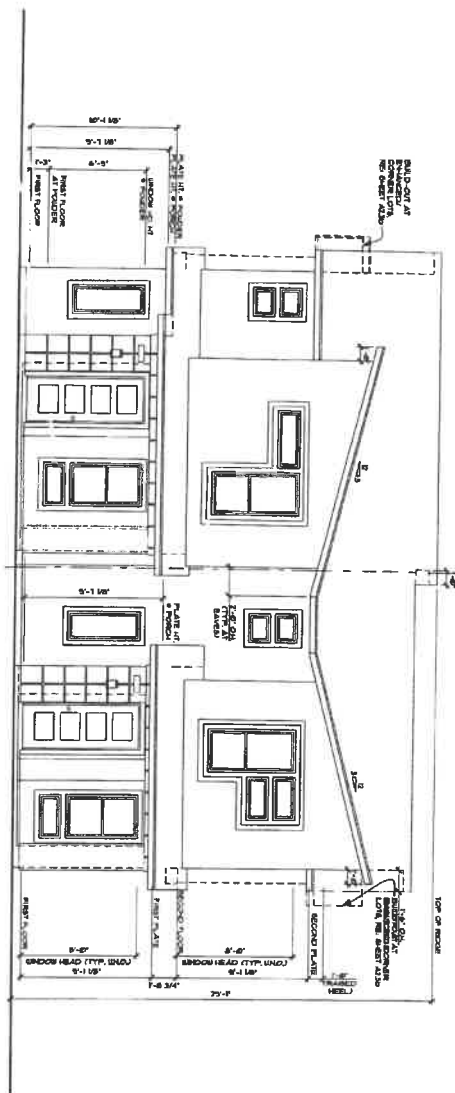
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ELEVATION C

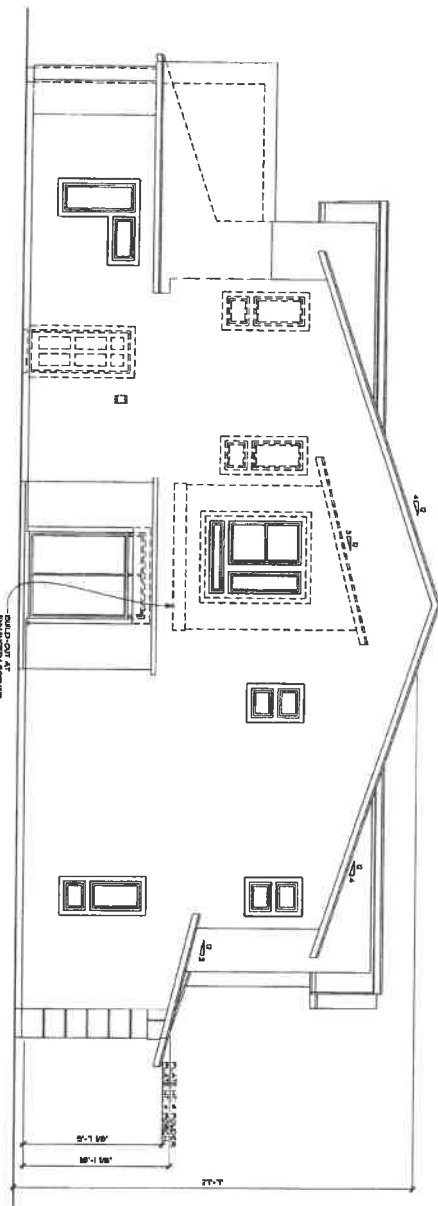
Sheet Number

A2.3

★



5 FRONT ELEVATION C w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
REF. VALS FOR ADDITIONAL NOTES AND DIMENSIONS



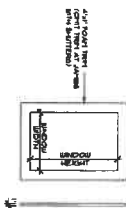
6 LEFT ELEVATION C W/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
SEE 3/4/3 FOR ADDITIONAL NOTES AND DIMENSIONS

[illegible][illegible]

RATED PONDATION PARAMETERS (SECTION 5.1.4.2)	
ELEVATION OF DEGRADATIONS	
DEGRADING FACTORS	POINTING
<p>DIFFERENCE IN THE ELEVATION BETWEEN DOOR AND WINDOW THRESHOLDS AND THE SELECTED ARCHITECTURAL FINISH</p>	3
<p>INDICATES AT LEAST THREE DEGREES OF INCLINATION ON POINTING. INCLINATION COMES FROM DOOR AND WINDOW THRESHOLDS TO THE SELECTED ARCHITECTURAL FINISH</p>	6
<p>NOT RECORDED INDICATOR - REPAIRS SHOULD BE DONE IMMEDIATELY</p>	
<p>ADDITIONAL INFORMATION</p> <ul style="list-style-type: none"> 1. POINTING IS THE JOINT BETWEEN THE DOOR AND WINDOW THRESHOLD AND THE SELECTED ARCHITECTURAL FINISH 2. POINTING SHOULD BE MAINTAINED AT ALL TIMES 3. POINTING SHOULD BE REPAIRED IMMEDIATELY TO PREVENT WATER INTRUSION 4. POINTING SHOULD BE REPAIRED IMMEDIATELY TO PREVENT WEAR AND DAMAGE TO THE ARCHITECTURAL FINISH 	3
TOTAL	3

ARCHITECTURAL STYLE:
DESERT CONTEMPORARY /
MODERN
(DUETS-ALLEY LOAD LOT)

A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYPE: UNO



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**Justin Bozarth,
Qualified Employee**

PRELUDE
at Cadence
(DUETTO II)
HENDERSON

Plan Number:

L769 / L770

BOSTON / CHICAGO

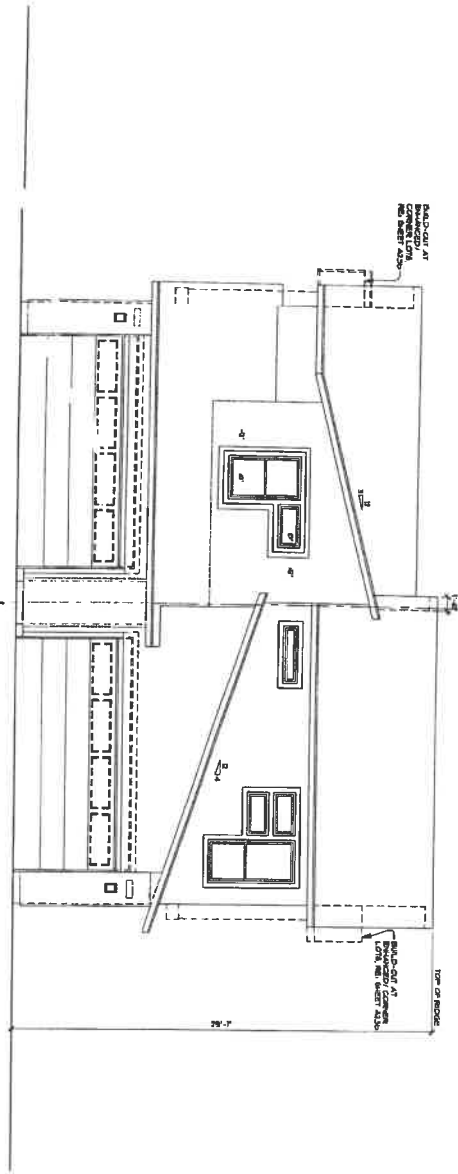
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ELEVATION C
w/ OPT. BR3
AT L769

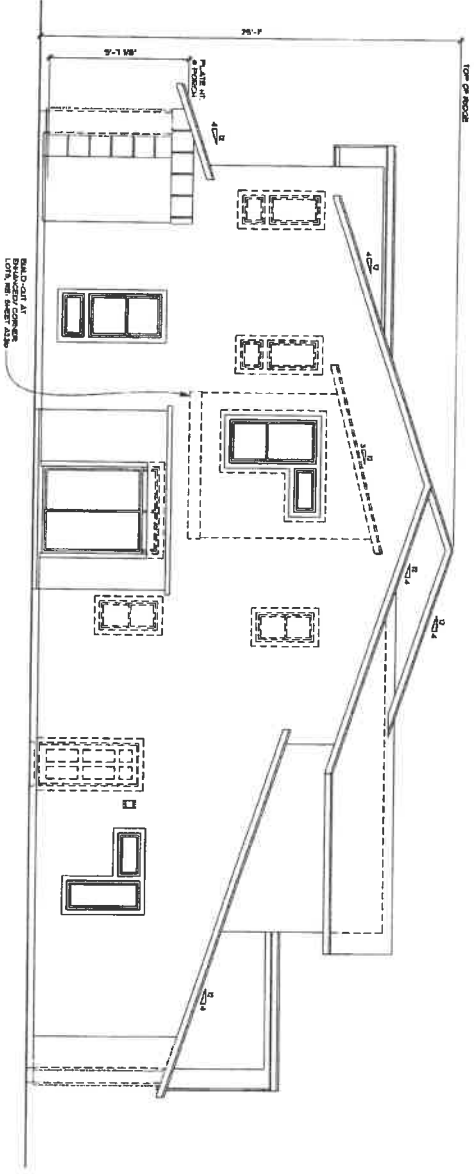
Sheet Number:

A2.3

C



7 REAR ELEVATION C w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
REV. 3/10/15 FOR 2015/10/15, NOTES & DIMENSIONS



8 RIGHT ELEVATION C w/ OPT. BR3 AT L769
SCALE: 1/4" = 1'-0"
REV. 4/10/15 FOR 2015/10/15, NOTES & DIMENSIONS

Las Vegas
Qualified Employees

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Drawn By: JLD

Revised:

DATE: 3/10/15

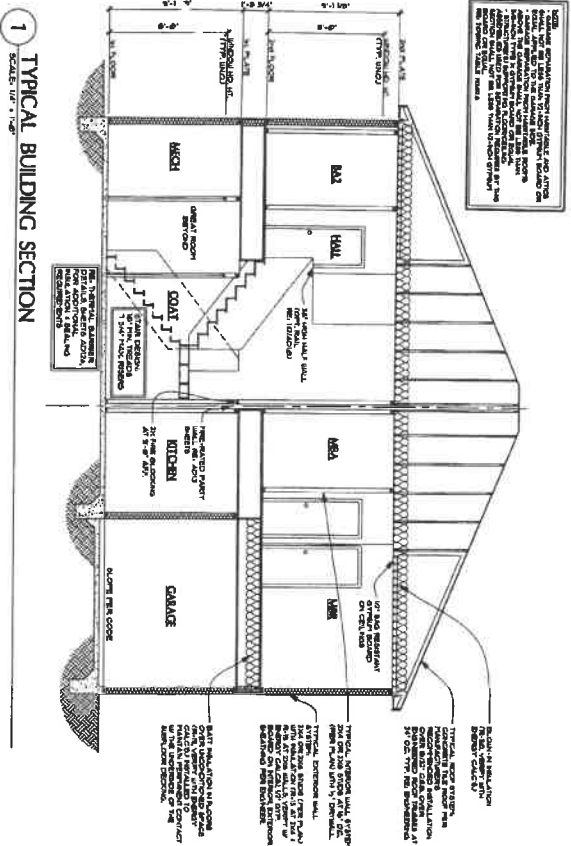
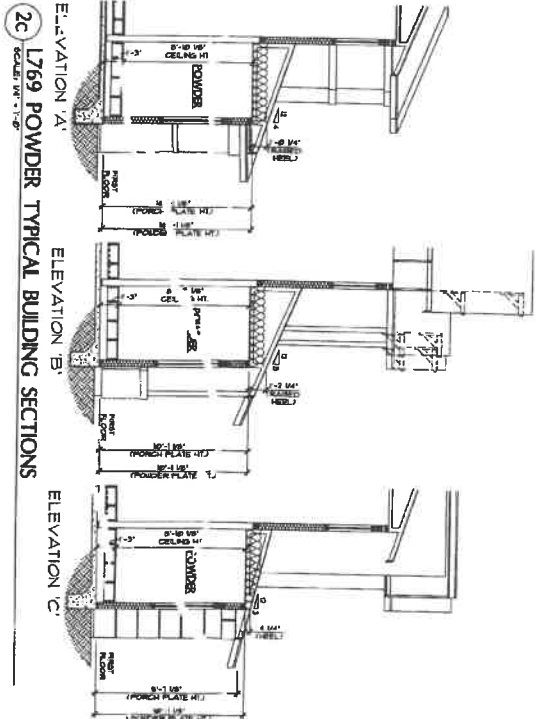
Project Name: PRELUDE at Caliente (DUETTO II) HENDERSON

Plan Number: L769 / L770

Sheet Title: ELEVATION C w/ OPT. BR3 AT L769

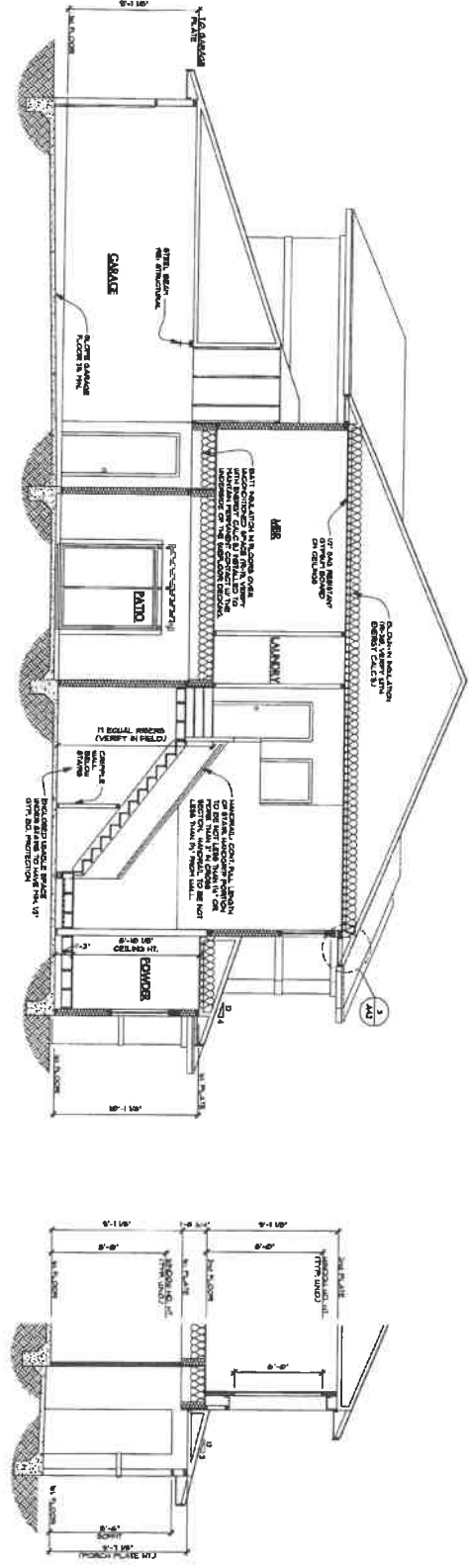
Sheet Number: A2.3

Sheet Number: d



2a TYPICAL BUILDING SECTION

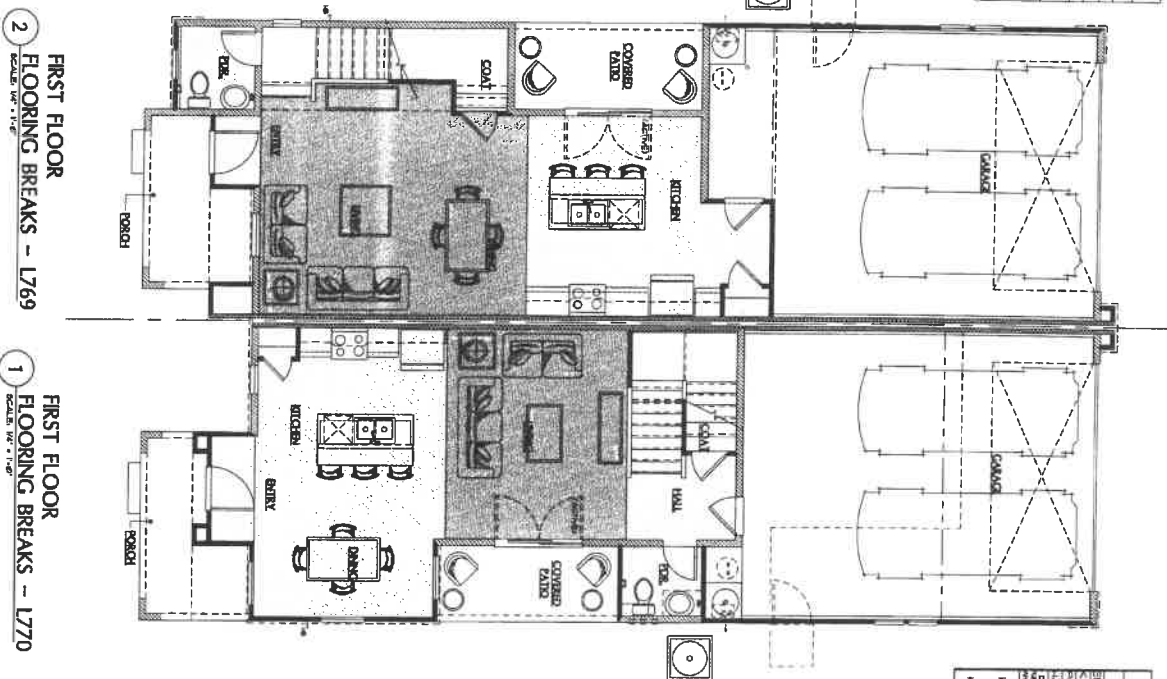
2b L769 ELEVATION C PORCH





A4.2

SURFACE AREAS (FIRST FLOOR - L769)			
HARD SURFACES		SOFT SURFACES	
ENTRY	9 SQ. FT.	LIVING / DINING	180 SQ. FT.
KITCHEN	16 SQ. FT.	COAT	16 SQ. FT.
BATH	11 SQ. FT.		
NOTES: A CHANGE IN AN AREA DUE TO SOFT OPTIONS (e.g., CHAIRS, CUSHIONS, etc.) WILL NOT BE HELD LIABLE FOR THE CONTRACTOR'S OBLIGATION TO THE PROJECT OF FINISHING.			
HARD SURFACE (BASE)		SOFT SURFACE (BASE)	
HARD SURFACE (OPTION)		SOFT SURFACE (BASE)	



SURFACE AREAS (FIRST FLOOR - L770)			
HARD SURFACES		SOFT SURFACES	
ENTRY	22 SQ. FT.	LIVING	162 SQ. FT.
KITCHEN / DINING	123 SQ. FT.	COAT	43 SQ. FT.
BATH	11 SQ. FT.		
HALL	11 SQ. FT.		
NOTES: A CHANGE IN AN AREA DUE TO SOFT OPTIONS (e.g., CHAIRS, CUSHIONS, etc.) WILL NOT BE HELD LIABLE FOR THE CONTRACTOR'S OBLIGATION TO THE PROJECT OF FINISHING.			
HARD SURFACE (BASE)		SOFT SURFACE (BASE)	
HARD SURFACE (OPTION)		SOFT SURFACE (BASE)	

Project Name:
Prelude
at Didierra
(DETROIT II)
HENDERSON

Plan Number:
L769 / L770

Plan Name:
BOSTON / CHICAGO

Sheet Title:
FLOOR
BREAKS

Sheet Number:
A5.1

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Drawn By: JLC

Architect:

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AMERICAN HOMES

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Las Vegas, NV 89139 702 638-4400

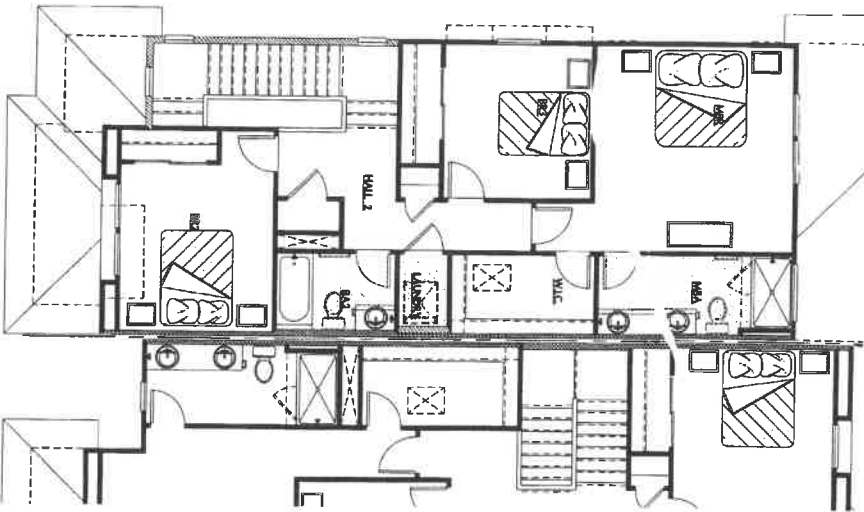
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East North
Quoted Dimensions

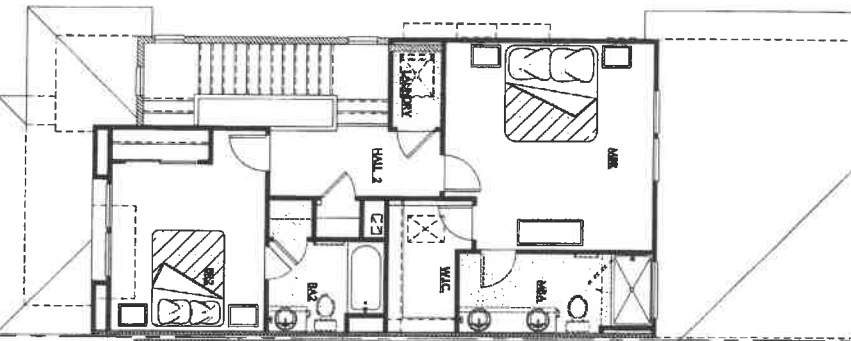
SURFACE AREAS (SECOND FLOOR AT OPT. BR3 - L169)			
HARD SURFACES		SOFT SURFACES	
MASTER BATH	145 SQ. FT.	MASTER BEDROOM	109 SQ. FT.
BATH 2	71 SQ. FT.	HALL W.C.	79 SQ. FT.
KITCHEN	116 SQ. FT.	BEDROOM 2	111 SQ. FT.
		BEDROOM 3	111 SQ. FT.
		HALL 2	79 SQ. FT.
		STAIRS	175 SQ. FT.
CONCRETE & GROUT IN ALL AREAS DUE TO SOFT OPTICAL SURFACES. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN.			
HARD SURFACE (BASE)		SOFT SURFACE (BASE)	
HARD SURFACE (OPTION)		SOFT SURFACE (OPTION)	

SURFACE AREAS (SECOND FLOOR - L169)			
HARD SURFACES		SOFT SURFACES	
MASTER BATH	145 SQ. FT.	MASTER BEDROOM	109 SQ. FT.
BATH 2	71 SQ. FT.	HALL W.C.	79 SQ. FT.
KITCHEN	116 SQ. FT.	BEDROOM 2	111 SQ. FT.
		BEDROOM 3	111 SQ. FT.
		HALL 2	79 SQ. FT.
		STAIRS	175 SQ. FT.
CONCRETE & GROUT IN ALL AREAS DUE TO SOFT OPTICAL SURFACES. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN.			
HARD SURFACE (BASE)		SOFT SURFACE (BASE)	
HARD SURFACE (OPTION)		SOFT SURFACE (OPTION)	

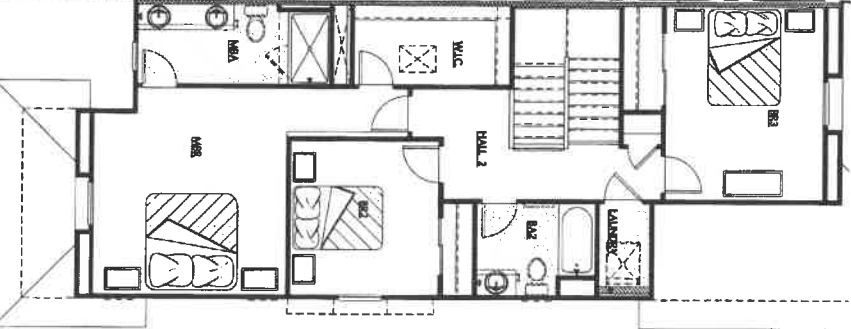
SURFACE AREAS (SECOND FLOOR - L170)			
HARD SURFACES		SOFT SURFACES	
MASTER BATH	145 SQ. FT.	MASTER BEDROOM	109 SQ. FT.
BATH 2	71 SQ. FT.	HALL W.C.	79 SQ. FT.
KITCHEN	116 SQ. FT.	BEDROOM 2	111 SQ. FT.
		BEDROOM 3	111 SQ. FT.
		HALL 2	79 SQ. FT.
		STAIRS	175 SQ. FT.
CONCRETE & GROUT IN ALL AREAS DUE TO SOFT OPTICAL SURFACES. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN. SURFACES ARE NOT BEING REPRESENTED ON THIS FLOOR PLAN.			
HARD SURFACE (BASE)		SOFT SURFACE (BASE)	
HARD SURFACE (OPTION)		SOFT SURFACE (OPTION)	



3 PARTIAL SECOND FLOOR PLAN AT OPT. BR3 - L169
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR ELECTRICAL PLAN - L169
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR ELECTRICAL PLAN - L170
SCALE: 1/4" = 1'-0"

PRELUDE
at Cañonero
(CLAYTON II)
HENDERSON

Plan Name:
BOSTON / CHCA60

Sheet Title:
FLOOR BREAKS

Sheet Number:
A5.2

RICHMOND
AMERICAN HOMES

LAS VEGAS
7770 Dean Marsh Drive, #308
Las Vegas, NV 89139 (702) 638-4400

License #0026417 / B-2 / Unlimited

Justin Hazzard,
Qualified Employee

Consider to date, Richmond American Homes, Inc. is not responsible for any errors or omissions in this plan. It is the responsibility of the client to verify the accuracy of the information provided. The client agrees to hold Richmond American Homes, Inc. harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this plan.

Drawn By: JJA

Revised:

Roxanne Leigh

To: Pinley, Angela; Kevin Bross
Subject: RE: Summary of Neighborhood Meeting on January 26, 2021 (Richmond - Townhomes at Scott Robinson)

From: Jennifer Lazovich [<mailto:JLazovich@kcnvlaw.com>]
Sent: Tuesday, January 26, 2021 5:45 PM
To: Pinley, Angela
Cc: Ann Pierce
Subject: Summary of Neighborhood Meeting on January 26, 2021 (Richmond - Townhomes at Scott Robinson)

Angela:

On Tuesday, January 26, 2021, we held a virtual neighborhood meeting to discuss the proposed zone change for a townhome project generally located near Scott Robinson and Craig Road.

All notices were mailed out in a timely manner.

No one attended the neighborhood meeting.

KAEMPFER

CROWELL

Jennifer Lazovich
Kaempfer Crowell
1980 Festival Plaza Drive, Suite 650
Las Vegas, NV 89135-2958
Tel: (702) 792-7000
Fax: (702) 796-7181
Email: jlazovich@kcnvlaw.com

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This map is for assessment use only and does NOT represent a survey.
No liability is assumed for the accuracy of the data delineated herein.
Information on roads and other non-assessed parcels may be obtained
from the Road Document Listing in the Assessor's Office.
This map is compiled from official records, including surveys and deeds,
but only contains the information required for assessment. See the
recorded documents for more detailed legal information.
USE THIS SCALE FEET WHEN MAP IS REDUCED FROM TEXT ORIGINAL.

MAP LEGEND

- PARCEL BOUNDARY
- SUB BOUNDARY
- CONDOMINIUM UNIT
- AIR SPACE PCL
- RIGHT OF WAY PCL
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PLAT BOUNDARY
- SECTION LINE

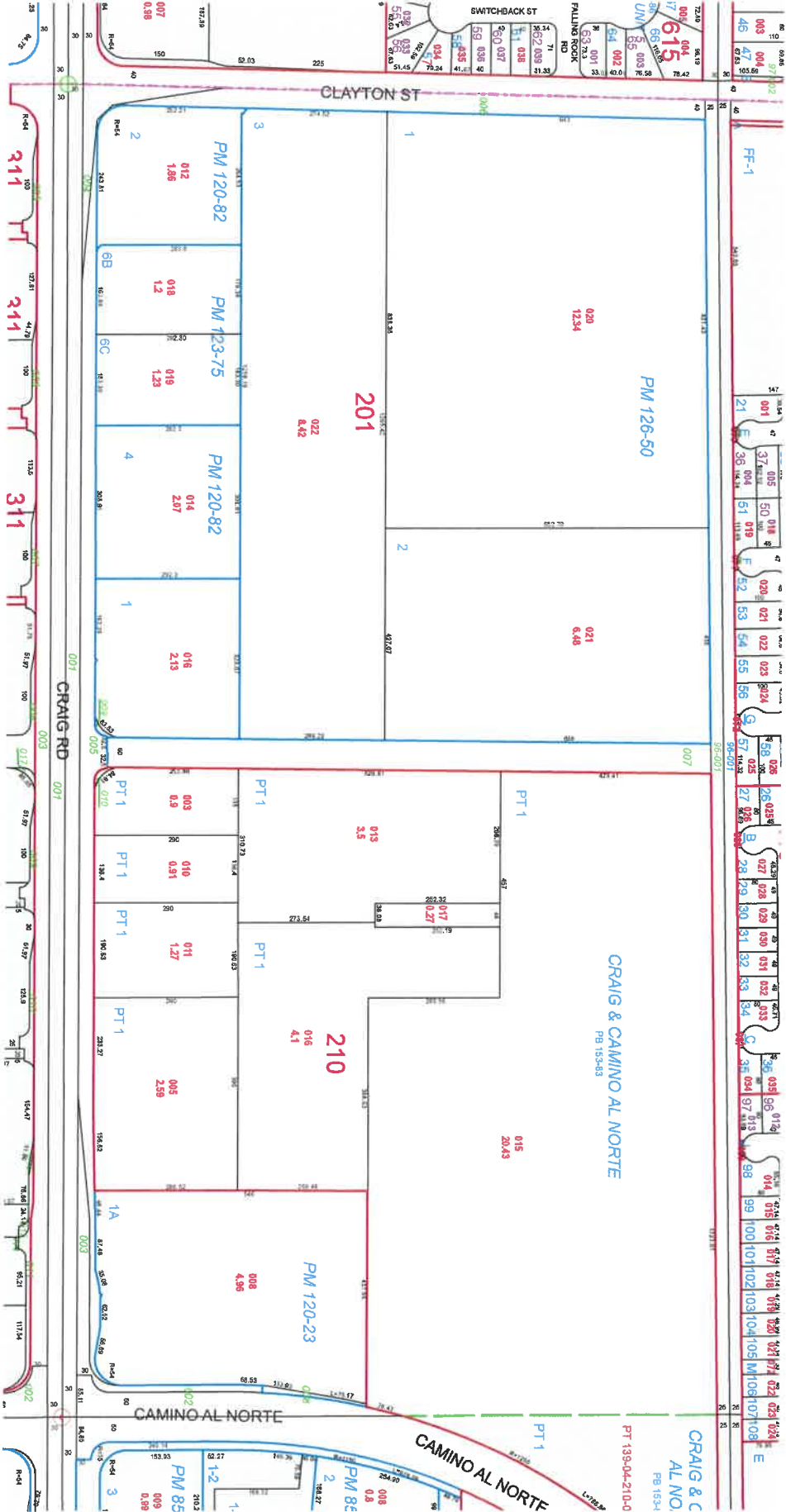
ASSESSOR'S PARCELS - CLARK COUNTY, NV.
Briana Johnson - Assessor

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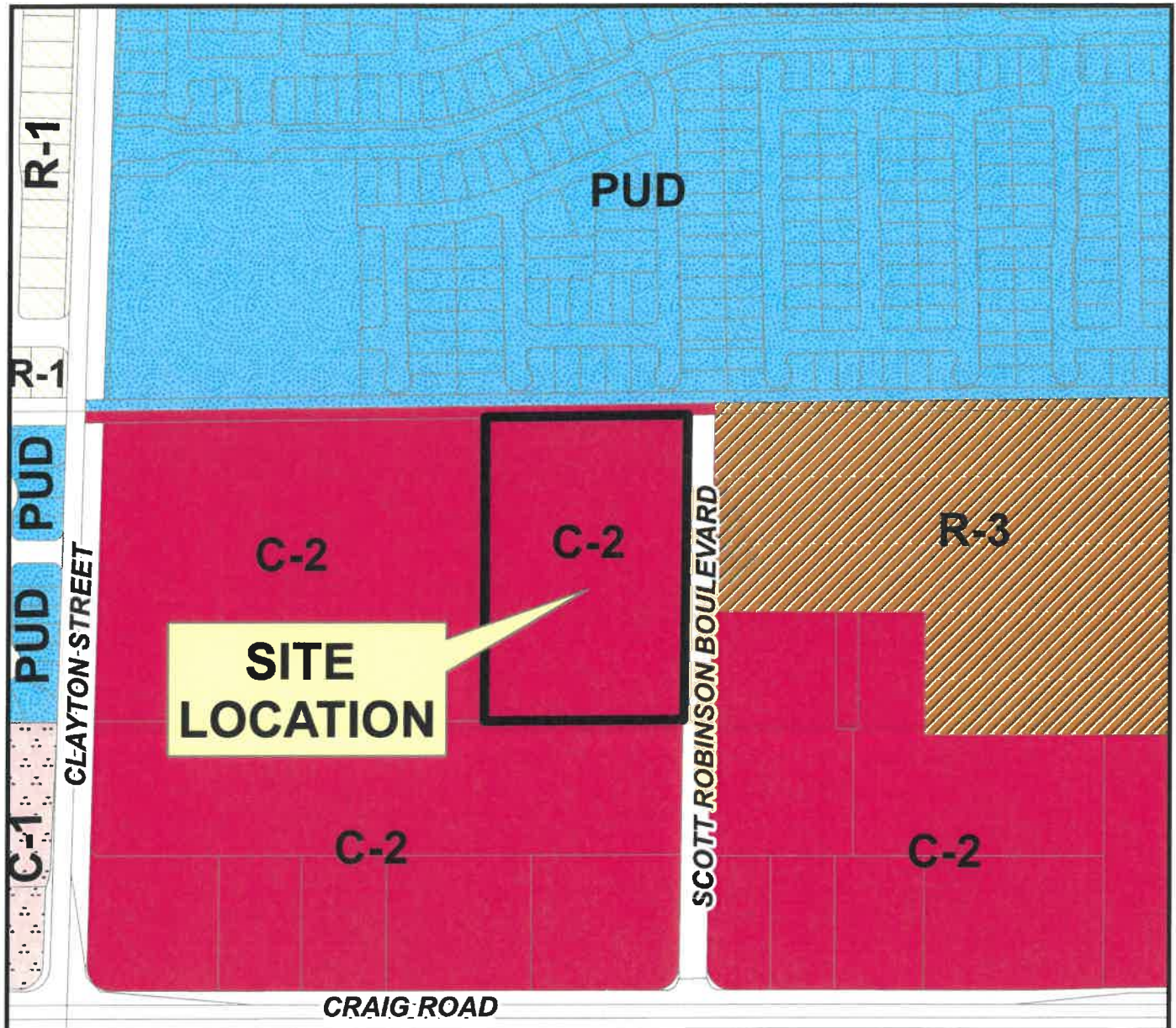
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THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Richmond American Homes of Nevada, LLC
Application Type: Property Reclassification
Request: From C-2 (General Commercial District) to a PUD (Planned Unit Development District), Consisting of a 70-Lot Single-Family Attached Subdivision
Project Info: West of Scott Robinson Boulevard, approximately 581 feet north of Craig Road
Case Number: ZN-03-2021

2/3/2021

