

124-25-2

ZN-68-04

ORDINANCE NO. 2011

AN ORDINANCE RELATED TO ZONING, AMENDING SECTION 010 OF CHAPTER 16 OF TITLE 17 OF THE NORTH LAS VEGAS MUNICIPAL CODE OF THE CITY OF NORTH LAS VEGAS BY RECLASSIFYING APPROXIMATELY 35.55 ACRES FROM R-E RANCH ESTATES TO PUD, PLANNED UNIT DEVELOPMENT DISTRICT (ZN-68-04, AZURE COMMERCIAL CENTER) FOR PROPERTY GENERALLY LOCATED AT THE NORTHEAST CORNER OF TROPICAL PARKWAY AND LOSEE ROAD; AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

WHEREAS, the amendment is consistent with the Comprehensive Plan; and,

WHEREAS, the Council determines that the amendment will not adversely affect the health and general welfare; and,

WHEREAS, according to Paragraphs 1 and 2 of Subsection E of Section 20 of Chapter 28 of Title 17 of the North Las Vegas Municipal Code, the City Council may, by ordinance, reclassify property.

NOW THEREFORE, the City Council of the City of North Las Vegas does ordain:

SECTION 1: In accordance with the provisions of Ordinance No. 2011 the following described parcel of land shall be reclassified as follows:

~~R-E RANCH ESTATES TO A PLANNED UNIT DEVELOPMENT DISTRICT (ZN-68-04)~~, the following property described to wit:

ALL THAT REAL PROPERTY SITUATED IN THE COUNTY OF CLARK, STATE OF NEVADA, BOUNDED AND DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 25, TOWNSHIP 19 SOUTH, RANGE 61 EAST, M.D.B.&M.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS CONVEYED TO CLARK COUNTY FOR ROAD AND INCIDENTAL PURPOSES BY DEED RECORDED MAY 8, 1979, IN BOOK 1052 OF OFFICIAL RECORDS AS DOCUMENT NO. 1011065, CLARK COUNTY, NEVADA.

AND

THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 25, TOWNSHIP 19 SOUTH, RANGE 61 EAST, M.D.B.&M.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS CONVEYED TO CLARK COUNTY FOR ROAD AND INCIDENTAL PURPOSES BY DEED RECORDED MAY 8, 1979, IN BOOK 1052 OF OFFICIAL RECORDS AS DOCUMENT NO. 1011065, CLARK COUNTY, NEVADA.

ZN-68-04

SECTION 2: The Planned Unit Development (PUD) District herein created is subject to the following development standards and requirements in addition to all requirements of the North Las Vegas Municipal Code:

ALL LOTS:

1. That, unless AMP-53-04 is approved by the City Council, this application shall be considered null and void; and
2. That, unless expressly authorized through a variance, waiver or another approved method, this development shall comply with all applicable codes and ordinances; and
3. Approval of a traffic study is required prior to submittal of the civil improvement plans. The traffic study must include a master transportation plan with modeling containing 20-year projections.
4. Right-of-way dedication and construction of a flared intersection is required at Tropical Parkway and Losee Road per Uniform Standard Drawings for Public Works' Construction Off-Site Improvements Drawing Number 201.1.
5. Right-of-way dedication and construction of a CAT bus turn-out is required on Losee Road near Tropical Parkway per Uniform Standard Drawings for Public Works' Construction Off-Site Improvements Drawing Number 234.1.
6. The civil improvement plans for the project shall include schedule 40 PVC fiber optic conduit along Losee Road and Tropical Parkway.
7. The property owner is required to grant a pedestrian access easement for sidewalk within any common element.
8. A revocable encroachment permit for landscaping within the public right of way is required.
9. Commercial driveways are to be constructed in accordance with *Clark County Area Uniform Standard Drawing* numbers 222A and 225, with minimum widths of 32 feet as measured from lip of gutter to lip of gutter.
10. The property owner is required to grant a roadway easement for commercial driveway(s).
11. The property owner is required to sign a restrictive covenant for utilities.
12. Approval of a drainage study is required prior to submittal of the civil improvement plans.

13. All local facilities and street centerline grades must be constructed in conformance with the City of North Las Vegas' *North Neighborhood Flood Control Master Plan*, or as otherwise approved by the Director of Public Works or his designee.
14. That this preliminary development plan is divided into "lots" for reference purposes only and does not imply, grant or indicate any future subdivision of land into individual parcels; and
15. That all perimeter sidewalks be separated from the backs-of-curb along McCarran Street, Tropical Parkway, Losee Road and Azure Avenue by a minimum five feet (5.00') of landscaping and each said sidewalk shall be meandering; and
16. That the submitted preliminary development plan be approved in concept and for the identified uses only. All reviewing departments reserve the right to comment on dimensional issues until such time that revised plans are submitted using a standard scale of measurement or until such time that the final development plan(s), using a standard scale of measurement, is (are) submitted for Planning Commission consideration; and
17. That prospective residents and/or live-in patients shall sign a written notice declaring knowledge of the existence of R.C. Farms, wherein the development may be subject to odors created by the pig farm; and
18. That, for the purposes of this Planned Unit Development, Lots 1, 2, 3, 6 and 9 shall be considered "Commercial"; Lots 5, 7, 8, 10, 11, 12 and 13 shall be considered "Medical / Professional Offices"; and Lots 4 and 14 shall be considered "Multi-family"; and
19. That this development shall have at least one unifying theme or design element(s) incorporated into the architecture of each building. The unifying theme or design element(s) shall be approved by the Planning Commission in conjunction with the first final development plan approved for this Planned Unit Development; and
20. That the landscaping materials, theme and ground cover shall be consistent throughout this Planned Unit Development, except those areas designated as recreational open spaces within the Senior Independent Living and Assisted Living and Acute Care facilities; and
21. That ADA-compliant pedestrian accessways and interconnected paths be provided between all buildings. Additional ADA-compliant pedestrian accessways shall be provided from each perimeter street; and
22. That all proposed trash enclosures be identified on the final development plan(s). All trash enclosures shall be designed to match the buildings and shall include roofs; and

23. That the proposed round-about be located such to allow all four of the main driveways (one each from McCarran Street, Tropical Parkway, Losee Road and Azure Avenue) to converge at the round-about; and
24. That utility vaults not be located within required landscape or pedestrian plaza areas; and

COMMERCIAL & MEDICAL / PROFESSIONAL OFFICES:

25. That Lots 1, 2, 3, 5, 6, 7, 8, 9, 10, 11, 12 and 13 shall comply with the Commercial Development Standards and Design Guidelines; and
26. That Lots 1, 2, 3, 5, 6, 7, 8, 9, 10, 11, 12 and 13 shall provide adequate on-site parking for each phase of development based on the requirements set forth in the Zoning Ordinance for said uses; and
27. That a minimum 1,100 square feet of pedestrian plaza area be provided for the commercial and office portions of this development. A minimum 350 square feet of plaza area shall be required as part of the first building permit issued for said areas. An additional 350 square feet shall be provided in conjunction with the building permit that causes the total square feet to meet or exceed 60,000 square feet of office and/or retail. The remaining 400 square feet of pedestrian plaza area shall be provided in conjunction with the building permit that causes the total square feet to meet or exceed 120,000 square feet of office and/or retail; and
28. That bicycle parking areas shall be provided throughout the office and retail areas. Bicycle parking areas shall not interfere with pedestrian access routes or required landscape and pedestrian plaza areas. No bicycle parking rack shall be further than 100 feet from the primary entrance of the building which it serves; and
29. The uses allowed in the commercial areas shall be consistent with those permitted in the C-2, General Commercial District; and
30. That the height of the multi-story office buildings shall not exceed 75 feet in height; and

MULTI-FAMILY:

31. That Lots 4 and 14 shall comply with the Multi-Family Development Standards; and
32. That the parking areas for Lots 4 and 14 provide one landscape island at each end of all parking rows with a minimum one landscape island provided for every fifteen (15) stalls within a row; and

33. That Lot 4 be restricted to an assisted living and acute care facility only, wherein the occupancy shall be limited to patients under the care of and as prescribed by a medical professional; and
34. That a maximum 230 beds be allowed for Lot 4; and
35. That on-site parking shall be provided for Lot 4 based on a minimum one space per bed; and
36. That a minimum 92,000 square feet (2.11 acres) of recreational open space be provided for Lot 4. Said open space, including amenities, shall be clearly indicated and all areas shall be dimensioned on the final development plan(s); and
37. That Lot 14 be limited to those persons 55 years and older only; and
38. That Lot 14 be allowed a maximum 104 units; and
39. That on-site parking shall be provided for Lot 14 based a minimum one space per unit; and
40. That a minimum 41,600 square feet (0.96 acre) of recreational open space be provided for Lot 14. Said open space, including amenities, shall be clearly indicated and all areas shall be dimensioned on the final development plan; and
41. That each parking stall be located within 300 feet of the unit which it serves; and
42. That the parking lot and drive aisle encompass the Senior Independent Living building, as is the case with the Assisted Living and Acute Care Facility.

SECTION 3: NON-INFRINGEMENT OF RIGHTS. The City Council of the City of North Las Vegas has been informed by its City Attorney as to the constitutionality of this ordinance and based upon such information we are adopting this ordinance in good faith with a reasonable belief that the actions taken by the City of North Las Vegas are not in violation of any rights, privileges, or immunities secured by the laws providing for equal rights of citizens or persons.

SECTION 4: SEVERABILITY. If any section, paragraph, clause or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall in no way affect the validity and enforceability of the remaining provisions of this Ordinance.

SECTION 5: EFFECTIVE DATE. This Ordinance shall become effective after its passage by the City Council of the City of North Las Vegas and, after such passage by the City Council, publication once by title in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

SECTION 6: PUBLICATION. The City Clerk shall cause this Ordinance, immediately following its adoption, to be published once by title, together with the names of the Councilmen voting for or against passage, in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

PASSED AND ADOPTED THIS 18th day of August, 2004.

AYES: Mayor Montandon, Mayor Pro Tempore Robinson, Council Members Smith, Buck, Eliason

NAYS: None

ABSENT: None

APPROVED:

/s/ Michael L. Montandon
MICHAEL L. MONTANDON, MAYOR

ATTEST:

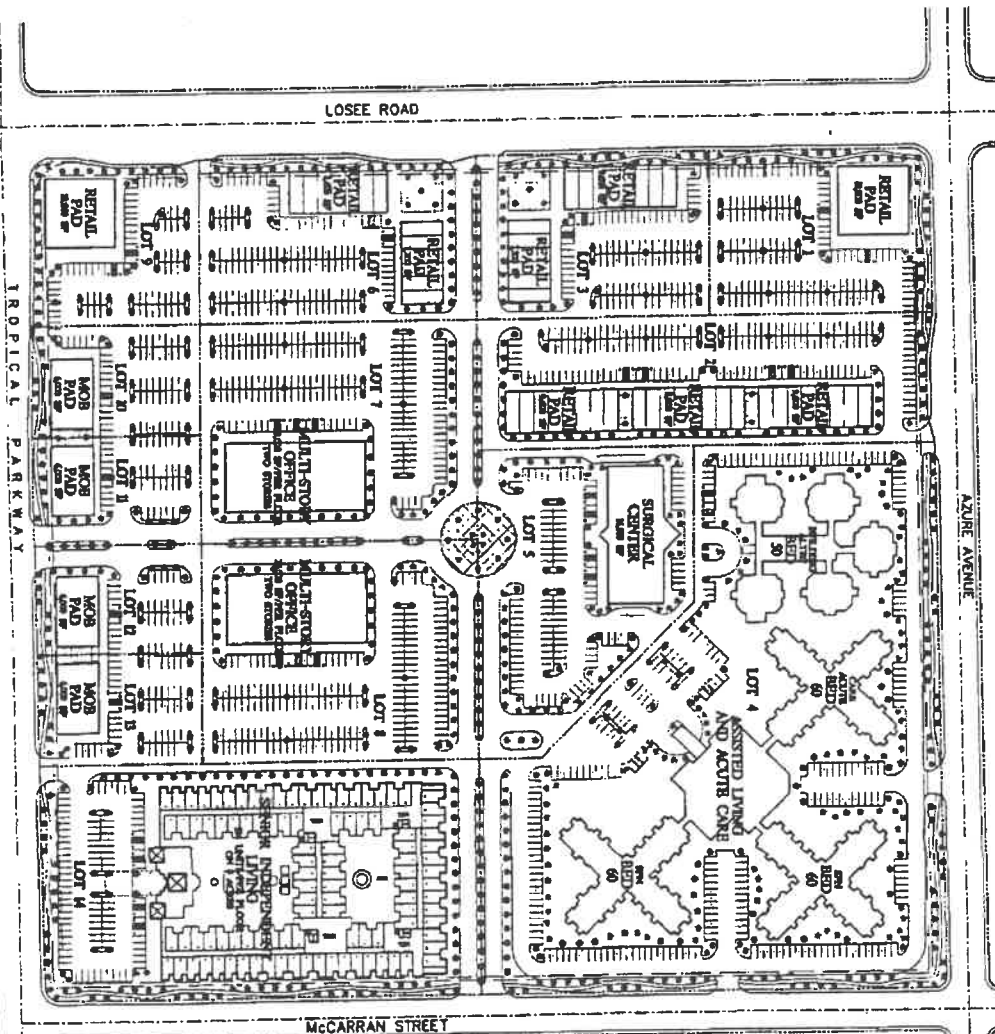
/s/ Karen L. Storms
KAREN L. STORMS, CMC, CITY CLERK

20-89-NZ

SITE PLAN - AZURE COMMERCIAL CENTER

LOCATED AT THE SOUTHEAST CORNER OF LOSEE RD. AND AZURE AVE.

SCALE: 1" = 40'-0"



DESIGN DATA

ZONING DATA

APPROVED PROJECT NUMBER: 20-89-NZ
APPROVED DATE: 05-25-04
APPROVED BY: NIGORO CONSULTING, INC.
PROJECT NAME: VIKING

ANALYTICAL DATA

CURRENT ZONING: M-1
PROPOSED ZONING: M-1
CURRENT TITLE: TITLE 17

STREET DATA

STREET NAME: AZURE
STREET TYPE: AVENUE
STREET WIDTH: 60'-0"

BUILDING DATA

BUILDING NAME: LOT 1
BUILDING TYPE: RETAIL
BUILDING AREA: 10,000 SQ. FT.
BUILDING HEIGHT: 2 STORIES
BUILDING FOOTPRINT: 10,000 SQ. FT.

LOT DATA

LOT 1: 10,000 SQ. FT.
LOT 2: 10,000 SQ. FT.
LOT 3: 10,000 SQ. FT.
LOT 4: 10,000 SQ. FT.
LOT 5: 10,000 SQ. FT.
LOT 6: 10,000 SQ. FT.
LOT 7: 10,000 SQ. FT.
LOT 8: 10,000 SQ. FT.
LOT 9: 10,000 SQ. FT.
LOT 10: 10,000 SQ. FT.
LOT 11: 10,000 SQ. FT.
LOT 12: 10,000 SQ. FT.
LOT 13: 10,000 SQ. FT.
LOT 14: 10,000 SQ. FT.

TOTAL LOT DATA

TOTAL LOT AREA: 140,000 SQ. FT.
TOTAL LOT PERCENT: 100.00%
TOTAL LOT PERCENT: 100.00%

STREET DATA

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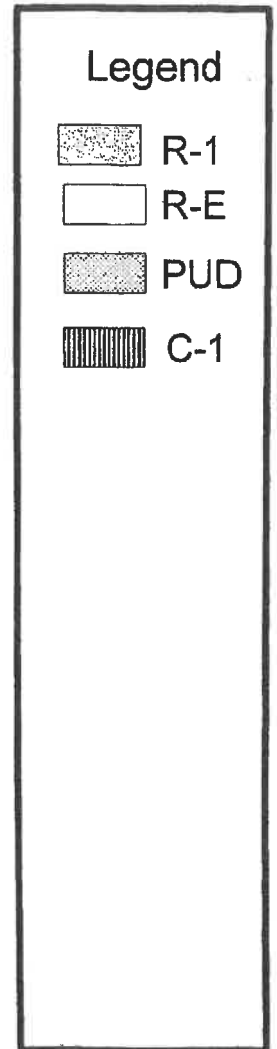
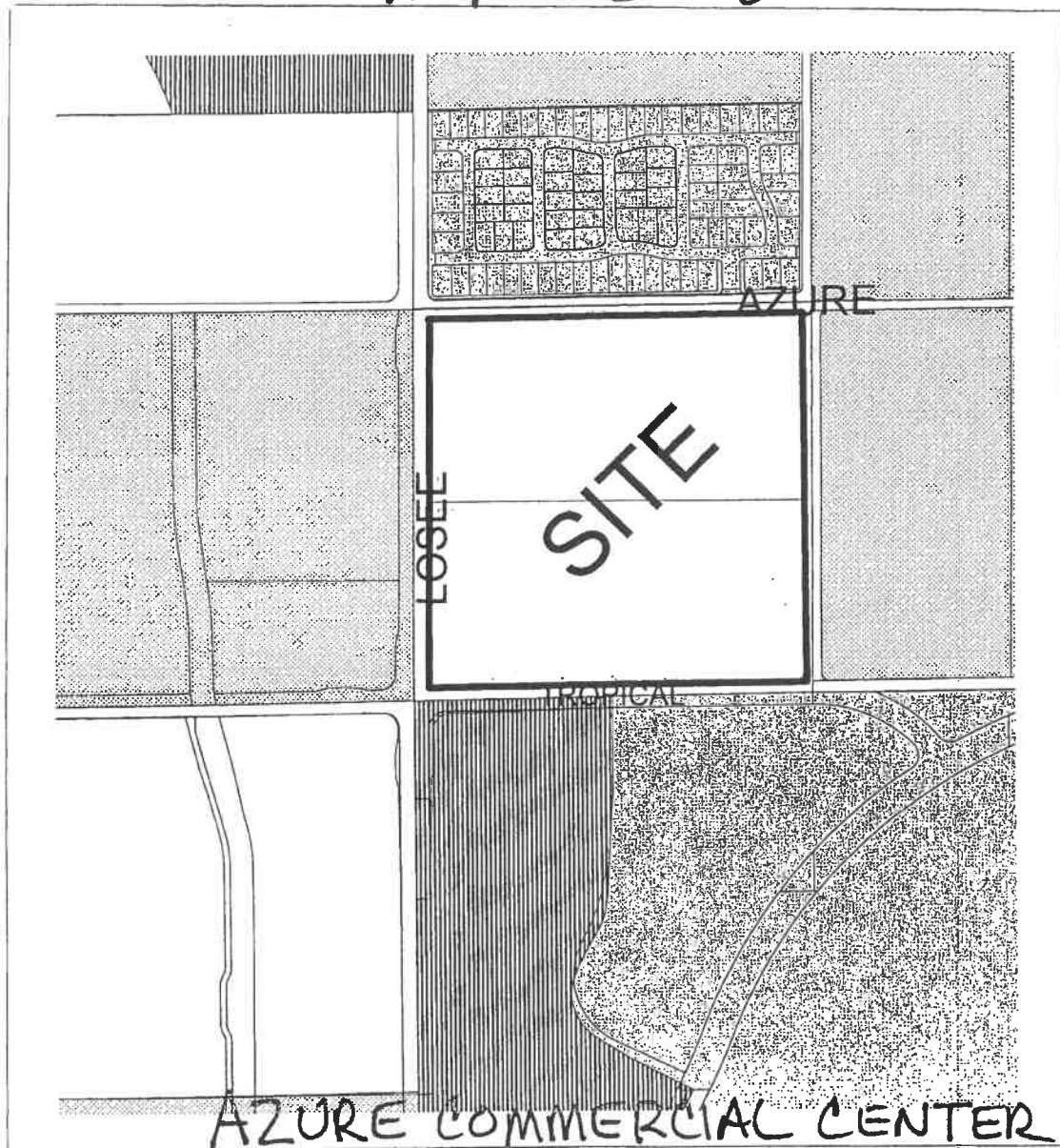
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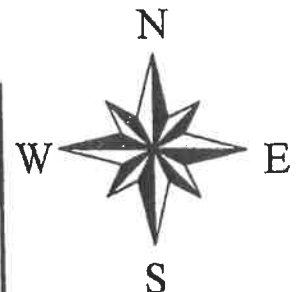
The City of North Las Vegas Location & Zoning Map

124-25-2



800 0 800 1600 Feet

Applicant: JPH Management, Inc.
Application Type: Property Reclassification
Request: R-E to PUD
Project Info: Approx. 35.55 acres, 2 commercial lots
Case Number: ZN-68-04 ORD. # 2011



APPROVED BY C.C. ON 08/18/2004

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Amy Michaels, Principal Planner, Land Development & Community Services Dept.
From: Robert Weible, Land Development Project Leader, Department of Public Works
Subject: ZN-07-2021 **Nightingale**
Date: March 22, 2021

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on the preliminary development plan, tentative map and the civil improvement plans. Geological hazards such as fault lines or fissures affecting residential structures may substantially alter the tentative map layout and require the submission of a revised tentative map which must be approved by the City prior to final approval of the civil improvement plans. The footprint of proposed structures shall be plotted on all lots impacted by faults and/or fissures and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans.
3. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.
4. The property owner is required to grant roadway easements where public and private streets intersect.
5. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way.
6. The twenty-four (24) foot wide private drives shall be increased to twenty-eight (28) feet to comply with the City of North Las Vegas Private Streets Policy.
7. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040. Conformance may require modifications to the site.
8. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1 and 222.
9. A raised median shall be installed along Tropical Parkway to a point 425 feet east from the center of the Tropical Parkway and Losee Road intersection.
10. Dedication and construction of the following streets and/or half streets is required per the *Master Plan of Streets and/or Highways* and *City of North Las Vegas Municipal Code* section 16.24.100:
 - a. Tropical Parkway
 - b. Azure Avenue
 - c. McCarran Street
 - d. Losee Road (sidewalk, street lights)

11. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
12. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
13. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**: <http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.



Robert Weible, Land Development Project Leader
Department of Public Works

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Planning Commission
From: Patrick Noble, Fire Protection Specialist
Subject: TMAP 5-2021, N 7-2021, AMP 3-2021| NIGHTINGALE HOLDINGS
Date: March 15, 2021

1. Fire apparatus access roads shall have an unobstructed clear width of not less than 36 feet, unless all buildings/lots are protected with an approved fire sprinkler system. This requirement doesn't apply for approved access gates.

Patrick Noble, Fire Protection Specialist

March 2, 2021

Ms. Amy Michaels
Principal Planner
Planning and Zoning Department
City of North Las Vegas
2250 Las Vegas Boulevard North
North Las Vegas, NV 89030



3283 E. Warm Springs Road Suite 300
Las Vegas, NV 89120
(702) 586-9296

REVISED

03/16/2021

ZN-000007-2021

Re.: Letter of Intent for Tropical Losee Project
(APNs: 124-25-201-001 & 003)

Ms. Michaels,

On behalf of DR Horton, we have provided this Letter of Intent and correlating submittal requirements for the land use entitlements for the subject project. **Our client is proposing an Amendment to the Land Use Plan from A Community Commercial land use designation to a Single-Family Medium land use designation, a Re-Zone from the current PUD to a new PUD and a Tentative Map in support of the current project.**

Site Description

The project is located on the northeast corner of the intersection of East Tropical Parkway and Losee Road within the City of North Las Vegas. The project site is generally the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 25, Township 19 South, Range 61 East, M.D.M., City of North Las Vegas, Nevada commonly known as APNs: 124-25-201-001 & 003. The project site is cumulatively comprised of approximately 41.8± gross acres (37.08± net acres). The applicant is proposing to develop 386 units (140 single family detached residential lots and 246 townhome units) on 38.65± gross acres (34.83± net acres) with a remnant 3.15± gross acre (2.25± net acre) commercial parcel at the northeast corner of the intersection of Tropical Parkway and Losee Road. The residential portion (townhomes and single-family detached) of the site project site will yield a gross density of 10.0± DUA and net density of 11.1 ± DUA.

The site is bounded to the north (across Azure Avenue) and to the south (across Tropical Parkway) by existing R-1 zoned developments, to the east (across McCarran Street) by an existing residential PUD development and to the west by vacant land zoned as PUD.

Intent

Comprehensive Plan Amendment and Re-Zoning

The project site has a land use designation and zoning designation of Community Commercial and Planned Unit Development (PUD), respectively. The applicant site is proposing a land use designation and zoning designation of **Single-Family Medium and PUD**, respectively, to allow for this single-family development and said commercial remnant (future pharmacy). The nature of land use along Losee Road has changed within the past few years with focus on residential development along said corridor. The applicant believes that providing smaller, single family detached lots on the eastern portion of the project site (near McCarran Street) and townhomes on the western portion of site (near Losee Road) will provide exceptional transitional zoning from adjacent existing residential developments in lieu of the originally anticipated commercial land use. A large commercial land use for this property does not appear harmonious with the development within proximity of the project site. The proposed CPA and Re-Zone request would closely match the surrounding area.

Tentative Map Site Characteristics

As stated above, the eastern portion of the project site will be single family detached residential lots (3,045 square foot minimum lots). This portion of the project will have standard City of North Las Vegas 47-foot-wide public streets. The eastern portion of the site will have an entry to East Tropical Parkway and emergency access to East Azure Avenue. Please note that the PUD open space requirements for the single family residential lots meet minimum open space standards. The single-family residential lots will conform to current PUD setbacks.

The western portion of the project site will consist of proposed townhomes with two distinct product configurations:

- A front-loaded townhome product with 5-foot driveways adjacent to a curb with attached 5-foot sidewalks (see attached *Tentative Map Page TM2* for typical building details). Each of these units will have a private yard in the rear of the lots ranging from 7 to 13 feet.
- A rear-loaded townhome product with 5' driveways adjacent to curb and will face a 10-foot minimum common element (20-foot typical). Please note that pedestrian access will be provided throughout via 7-foot sidewalks to allow guests to enter through the rear of the structure (see attached *Tentative Map Page TM2* for typical building details).

The townhome site will take access from Losee Road and will have emergency access to East Tropical Parkway. The townhomes will utilize 28-foot private streets (back of curb-to-back of curb) to match the *CNLV Private Streets Policy for Residential Development* standards. There will be various combinations of sidewalk configurations to meet the "intent of sidewalks" within said *Standards*. There will be 5-foot sidewalks adjacent to off-street parking stalls and whenever sidewalk is attached to the street curb (front loaded townhome product). The developer will provide 7-foot sidewalks in areas required for pedestrian access across the site. The sidewalk between front-loaded building product end units will be 5 feet wide as pedestrians will also have a 5-foot sidewalk adjacent to the street (See *Tentative Map Page TM2, Front Loaded Townhomes Detail*).

The developer is proposing to use the proposed setbacks/building separations for the townhomes are provided on the Tentative Map. Please note that the PUD open space requirements for the townhomes exceed the minimum open space standards.

Conclusion

The overall project will be compatible with the surrounding area and will meet the goals of the City of North Las Vegas Title 17 Zoning Ordinance criteria. If you have any questions or need any additional information, please feel free to call our office at (702) 586-9296.

Sincerely,

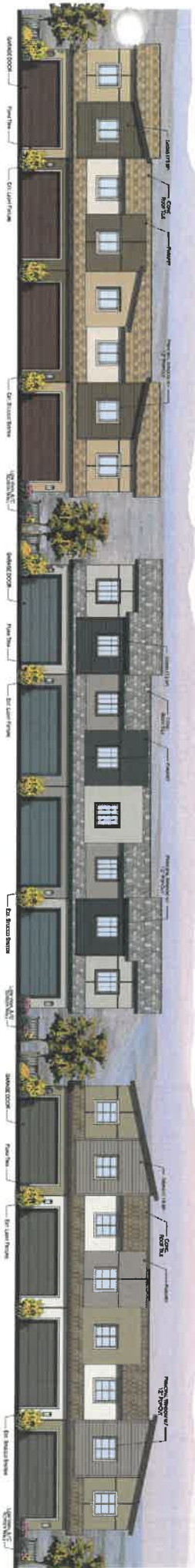


Darryl C. Lattimore, PE
President



SCALE: 3/16" = 1'-0"

NOVEMBER 6, 2020



4-PLEX REAR ELEVATION 'A'

DESERT INDUSTRIAL



URBAN MODERN



ORGANIC MODERN



4. PLEX FRONT ELEVATION 'A'

4. PLEX FRONT ELEVATION 'B'

4-PLEX FRONT ELEVATION 'C'

4 PLEX - REAR LOADED CONCEPTUAL STREETSCAPE

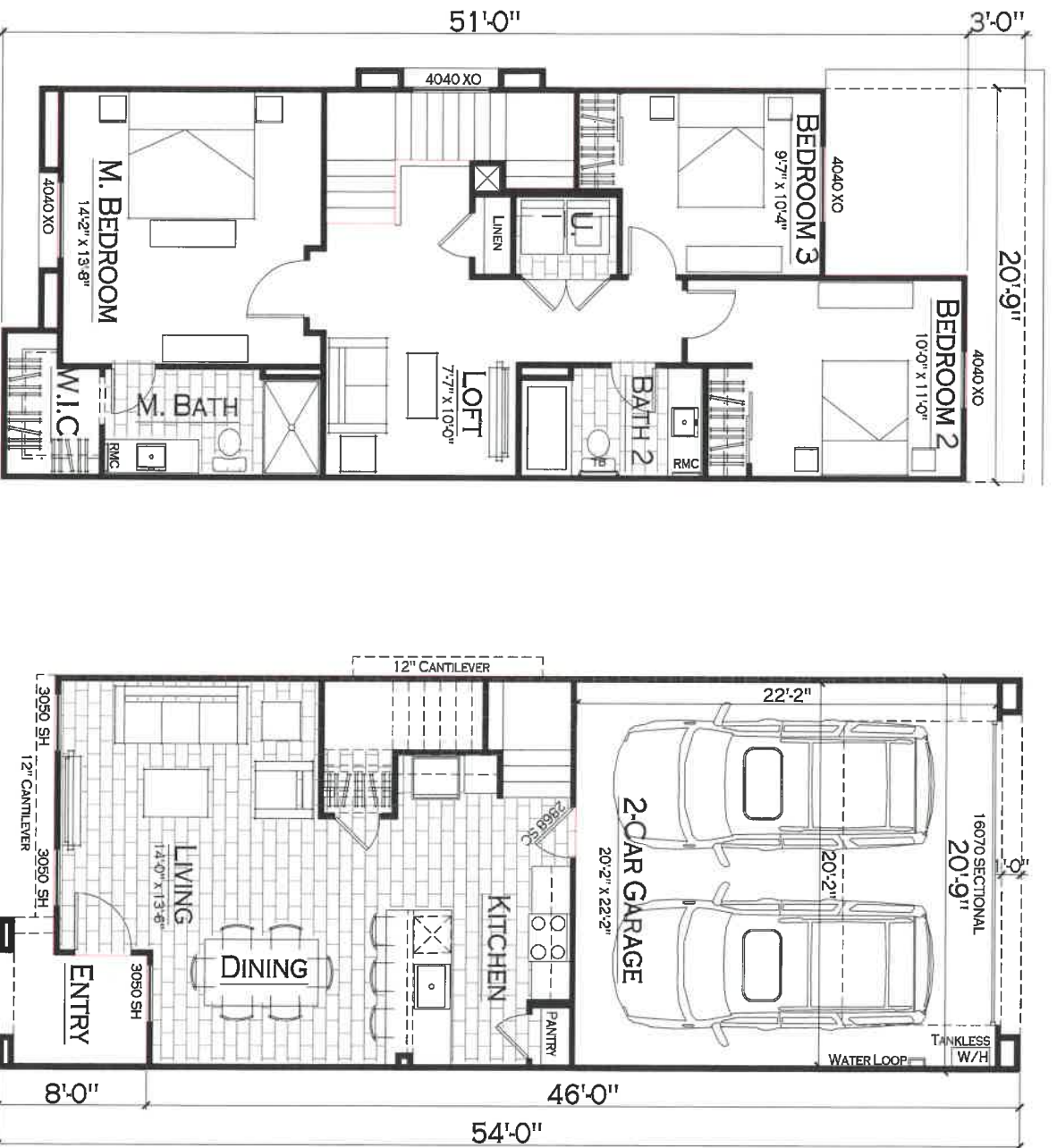
© 2010 K&N, Inc. All rights reserved. Design Modifications without Notice. All Colors, Dimensions, Sizes and Architectural Features are Conceptual and Subject to Change.

D·R·HORTON
America's Builder

SCALE: 3/16" = 1'-0"

NOVEMBER 6, 2020

Perlman



PLAN 1405

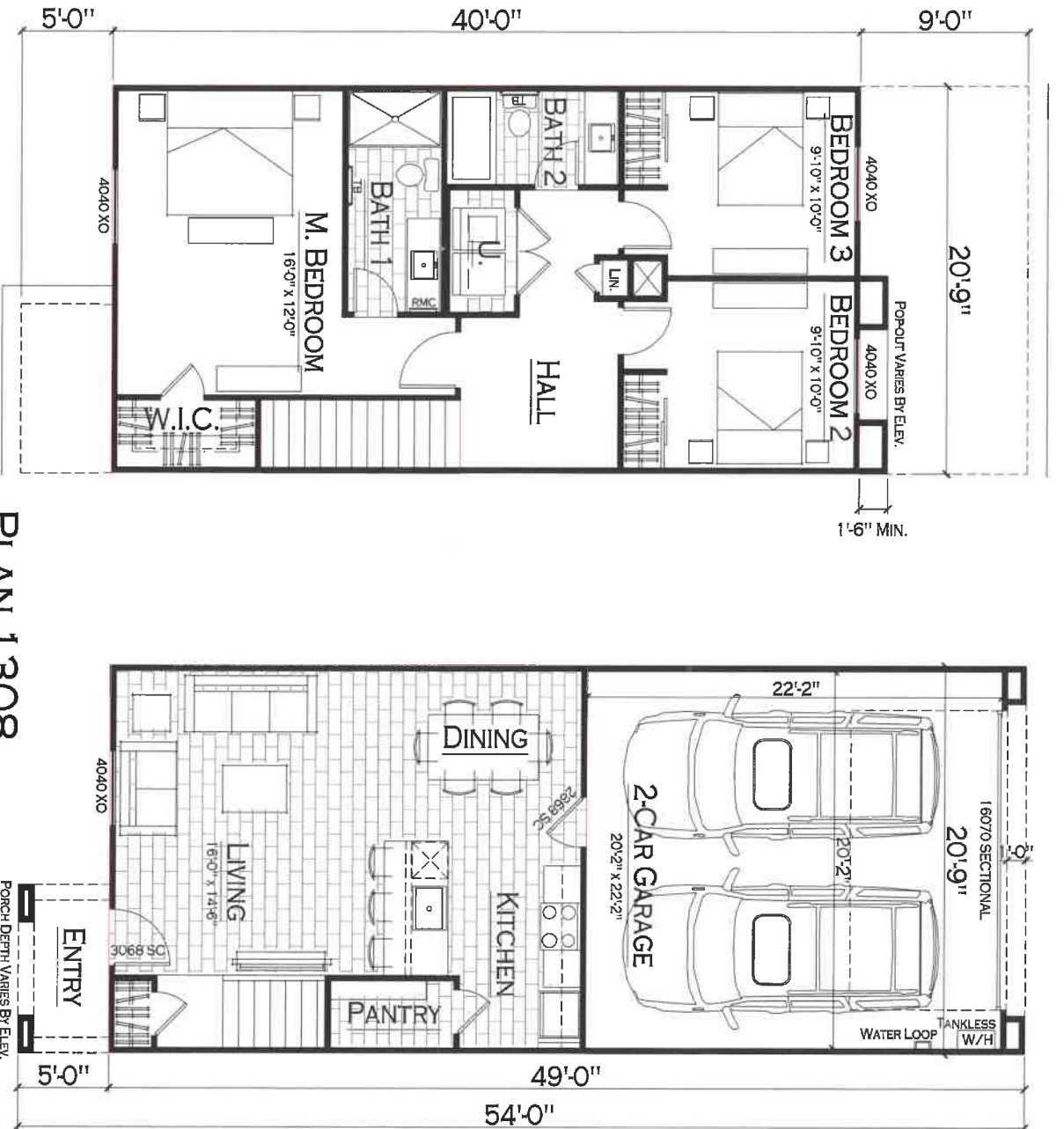
* STRUCTURAL MISC -
CAVITY SPACE BETWEEN UNITS
* 1ST & 2ND FLOOR -
7" WINDOW HEAD HEIGHTS

PLAN 1405 AREA CALC

PLAN 1405 AREA CALC	
LIVABLE	1,405 S.F.
1ST FLOOR	537 S.F.
2ND FLOOR	868 S.F.
COVERED ENTRY (INCLUDES POP OUT)	54 S.F.
2-CAR GARAGE	487 S.F.
STRUCTURAL MISC.	16 S.F.
TOTAL AREA	1,962 S.F.

SCALE: 3/8" = 1'-0"

NOVEMBER 6, 2020



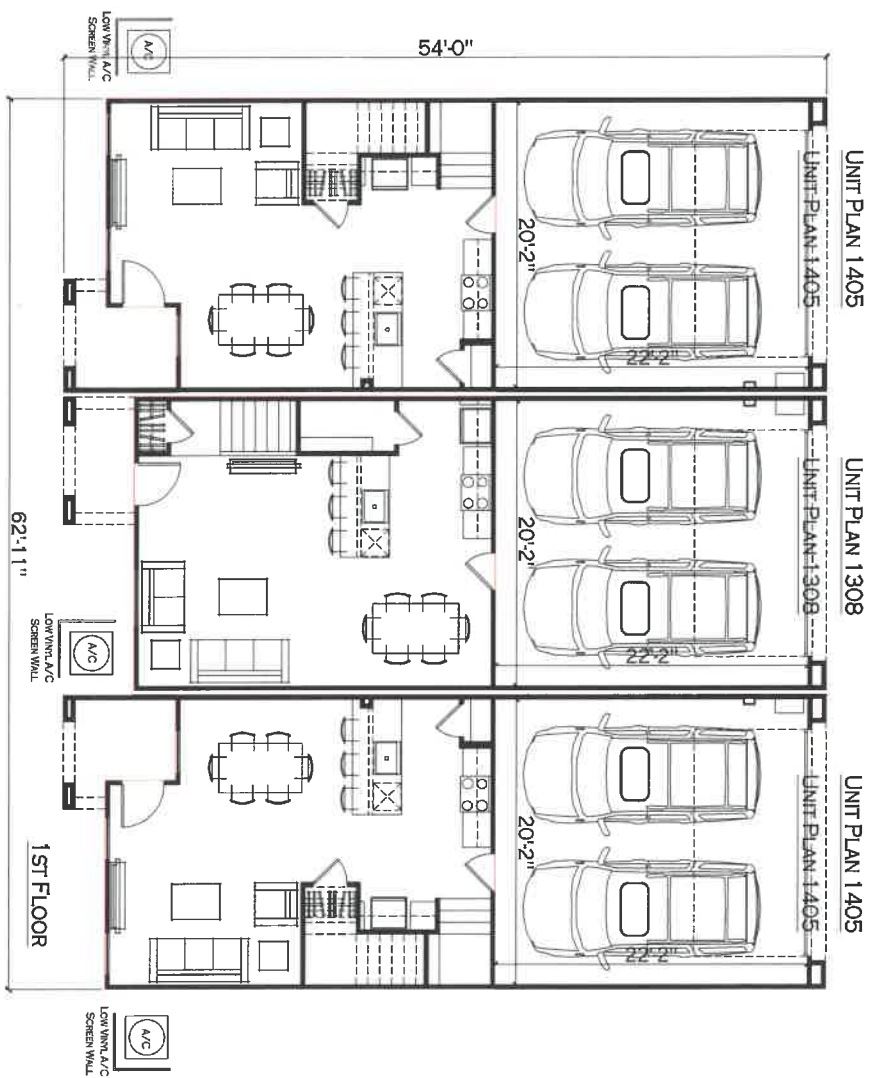
* STRUCTURAL MISC -
CAVITY SPACE BETWEEN UNITS
* 1ST & 2ND FLOOR -
7" WINDOW HEAD HEIGHTS

PLAN 1308 AREA CALCS

PLAN 1308 AREA CALCS	
LIVABLE	1,308 S.F.
COVERED ENTRY	45 S.F.
2-CAR GARAGE	487 S.F.
STRUCTURAL MISC.	19 S.F.
TOTAL AREA	1,855 S.F.

SCALE: 3/8" = 1'-0"

NOVEMBER 6, 2020



3-PLEX REAR LOADED

SCALE: 1/4" = 1'-0"

NOVEMBER 6, 2020



DESIGN NOT TO SCALE
DESIGN MODIFICATIONS WITHOUT NOTICE. ALL COLORS, DIMENSIONS, SIZES AND ARCHITECTURAL FEATURES ARE CONCEPTUAL AND SUBJECT TO CHANGE.

3-PLEX REAR LOADED

SCALE: 1/4" = 1'-0"

SCHEME 33



FRONT ELEVATION



TYP. SIDE ELEVATION



REAR ELEVATION

DESIGN MODIFICATIONS WITHOUT NOTICE. ALL COLORS, DIMENSIONS, SIZES AND ARCHITECTURAL FEATURES ARE CONCEPTUAL AND SUBJECT TO CHANGE.

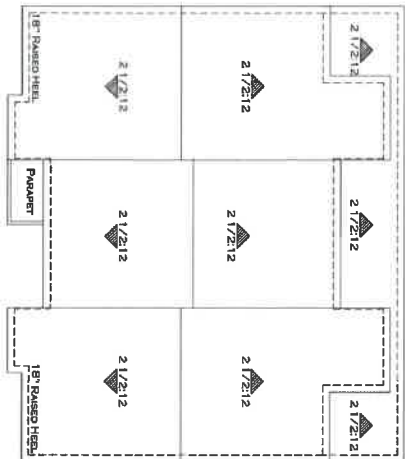
D.R. HORTON
America's Builder

3 PLEX · REAR LOADED CONCEPTUAL ELEVATIONS 'A'

SCALE: 3/16" = 1'-0"

NOVEMBER 6, 2020

Perlman



URBAN MODERN

SCHEME 3/4

BODY 1 MIDNIGHT GRAY S17010	BODY 2 DUSTY GRAY S17018	BODY 3 MIDNIGHT GRAY S17023	FASCIA MIDNIGHT GRAY S17012	FRONT DOOR BRIGHT LEMON SWISS/4 FOURTEEN RED SW 6871	GARAGE DOOR WINTER CO SW1141	ROOF TILE BROWN SLATON 800 STONE BROWN
-----------------------------------	--------------------------------	-----------------------------------	-----------------------------------	--	------------------------------------	--



TYP. SIDE ELEVATION



REAR ELEVATION

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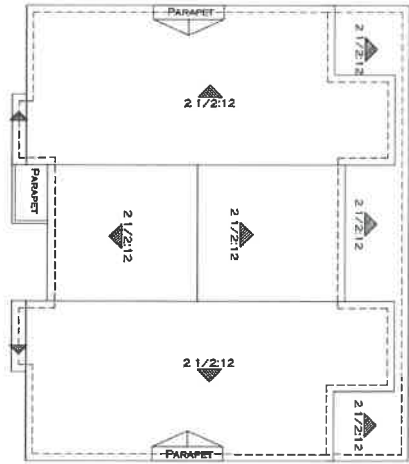
D.R. HORTON
America's Builder

3 PLEX - REAR LOADED
CONCEPTUAL ELEVATIONS 'B'

SCALE: 3/16" = 1'-0"

NOVEMBER 6, 2020





TYP. SIDE ELEVATION



ORGANIC MODERN

SCHEME 30

FRONT ELEVATION



BODY 1 SILVER SW158	BODY 2 MIXED SW154	BODY 3 MIXED SILVER SW240	FASCIA OTHER SW1041	FRONT DOOR JALAPENO SWIRLS/ TAN/RED TRIM/WHITE SW1006	GARAGE DOOR PANTHER GREEN SW1208	ROOF TILE BONNIE SANDY 500 DESERT SLATE
---------------------------	--------------------------	---------------------------------	---------------------------	---	--	---

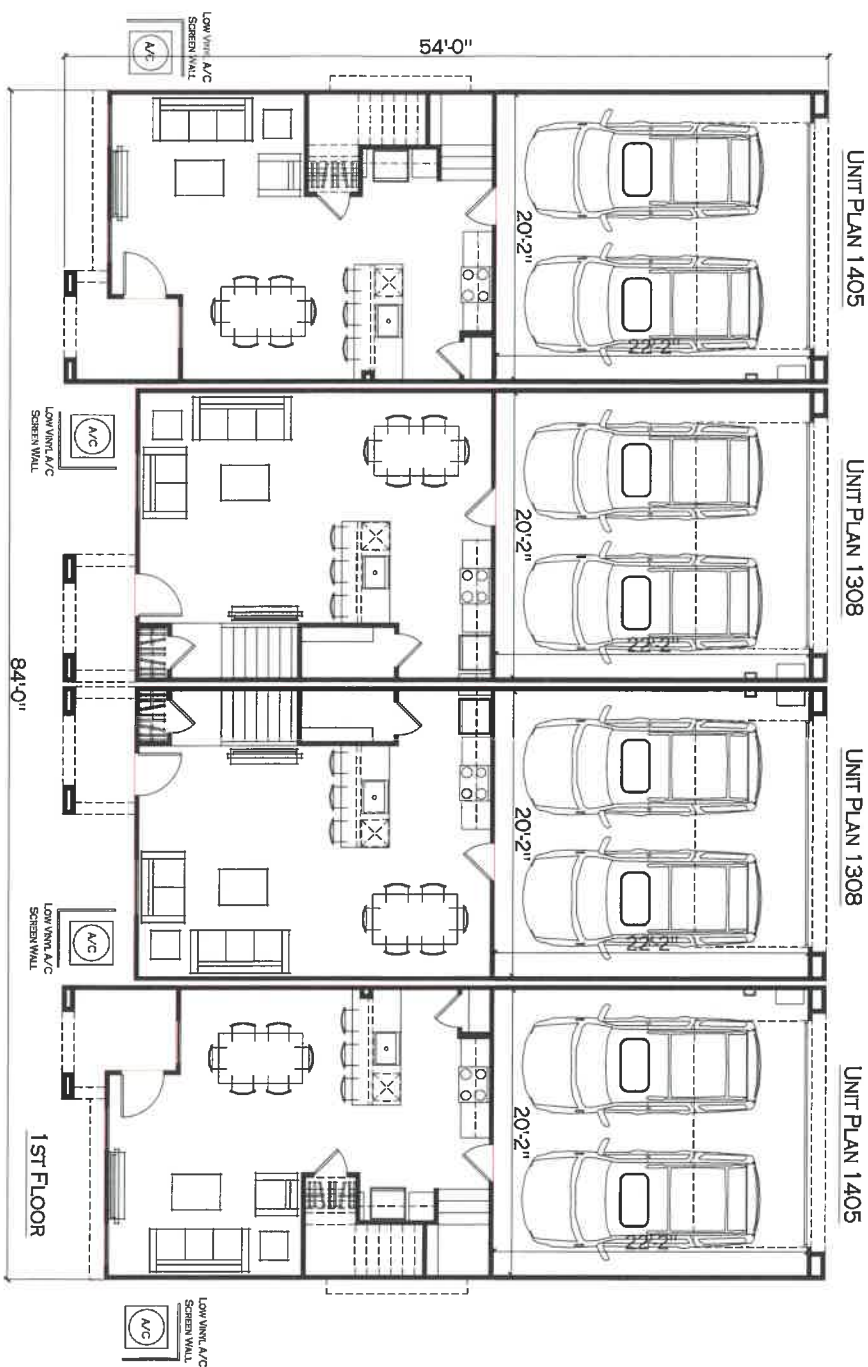
REAR ELEVATION



3 PLEX - REAR LOADED CONCEPTUAL ELEVATIONS 'C'

SCALE 3/16" = 1'-0"

NOVEMBER 6, 2020

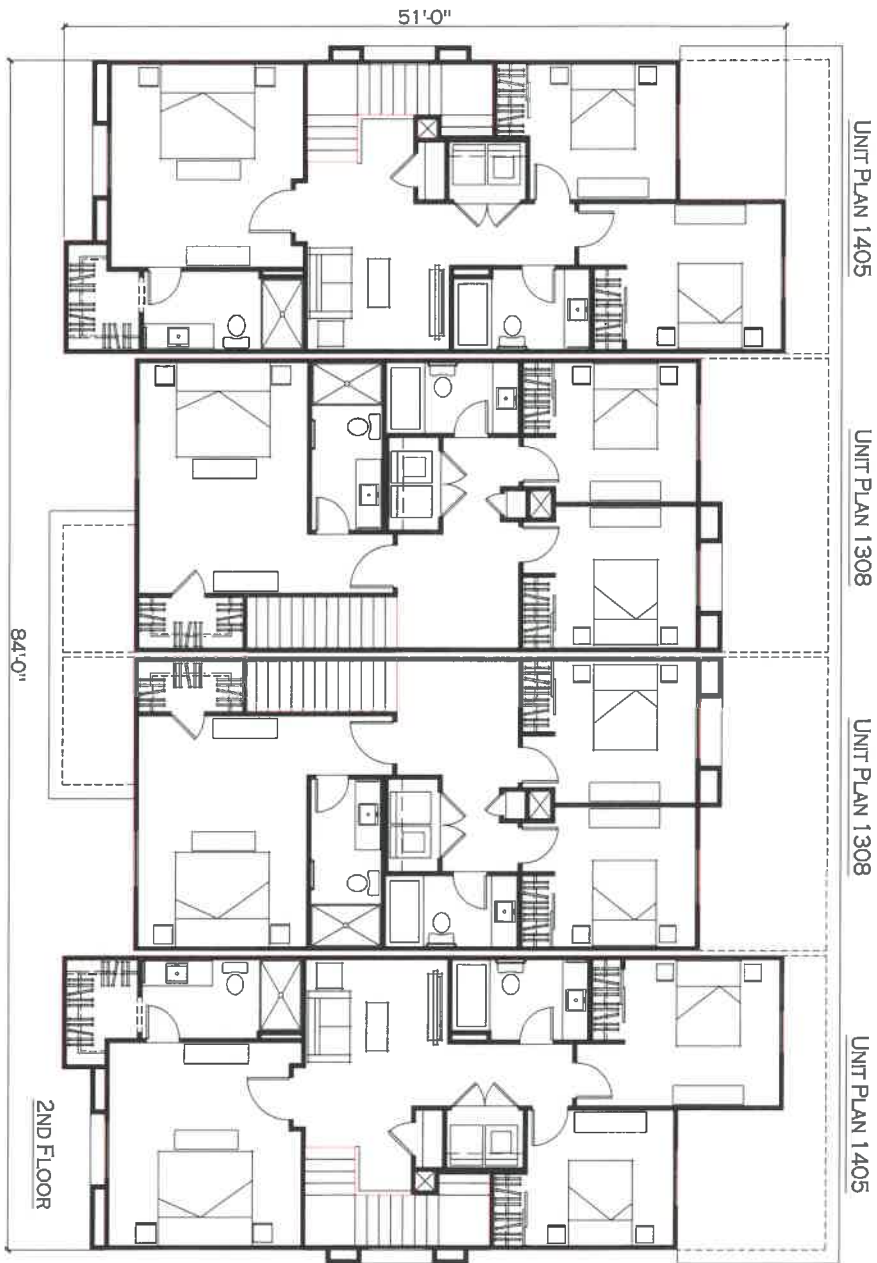


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4-PLEX REAR LOADED

SCALE: 3/8" = 1'-0"

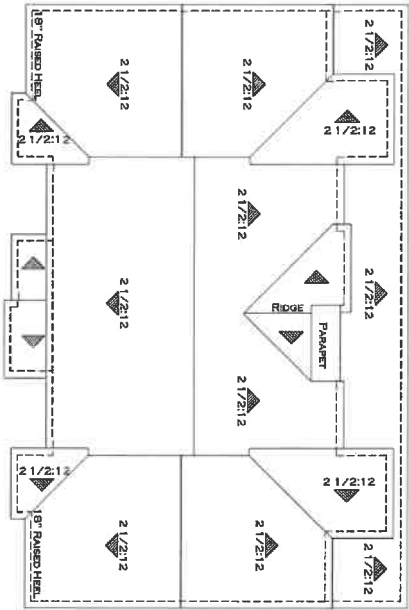
NOVEMBER 6, 2020



4-PLEX REAR LOADED

SCALE: 3/8" = 1'-0"

NOVEMBER 6, 2020



DESERT INDUSTRIAL

SCHEME 33

BODY 1	BODY 2	BODY 3	FASCIA	FRONT DOOR	GARAGE DOOR	ROOF TILE
SW10108	PHOTOCOPY	SW10108	SW10108	SW10108	SW10108	SW10108

FRONT ELEVATION



TYP. SIDE ELEVATION



REAR ELEVATION

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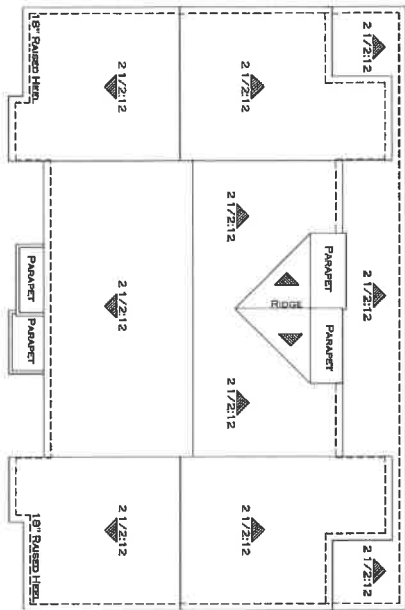
D.R. HOHON
America's Builder

4 PLEX - REAR LOADED
CONCEPTUAL ELEVATIONS 'A'

SCALE: 3/16" = 1'-0"

NOVEMBER 6, 2020

Perlman
ARCHITECTS



FRONT ELEVATION

URBAN MODERN

SCHEME 3.4

BODY 1 MATERIAL: GRAY SWATCH: 10	BODY 2 DOOR/CASE SWATCH: 10	BODY 3 MATERIAL: GRAY SWATCH: 10	FASCIA MATERIAL: GRAY SWATCH: 10	FRONT DOOR MATERIAL: GRAY SWATCH: 10	GARAGE DOOR MATERIAL: GRAY SWATCH: 10	ROOF TILE MATERIAL: GRAY SWATCH: 10
--	-----------------------------------	--	--	--	---	---



TYP. SIDE ELEVATION

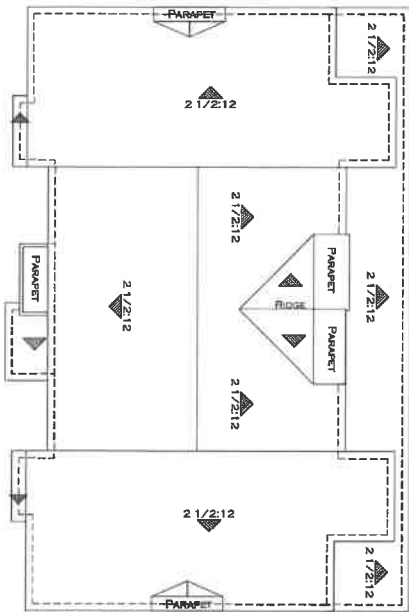


REAR ELEVATION

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4 PLEX - REAR LOADED
CONCEPTUAL ELEVATIONS 'B'

SCALE: 3/16" = 1'-0"



FRONT ELEVATION

ORGANIC MODERN

SCHEME 30

- BODY 1: SOLID GREY SWATCH 05
- BODY 2: MUDGY SWATCH 15A
- BODY 3: HAZARD SLIVER SWATCH 0
- FASCIA: OTHER SWATCH 1
- FRONT DOOR: JALAPENO SWATCH 23/ TRANSFERD TRUMPER SWATCH 026
- GARAGE DOOR: FAVORITE GREEN SWATCH 03
- ROOF TILE: BOGAL SWATCH 800 DRENNIT SHADE

PRINCIPAL WINDOW W/ 12\"/>



REAR ELEVATION



TYP. SIDE ELEVATION

4 PLEX - REAR LOADED
CONCEPTUAL ELEVATIONS 'C'

SCALE: 3/16" = 1'0"

NOVEMBER 6, 2020

[illegible]

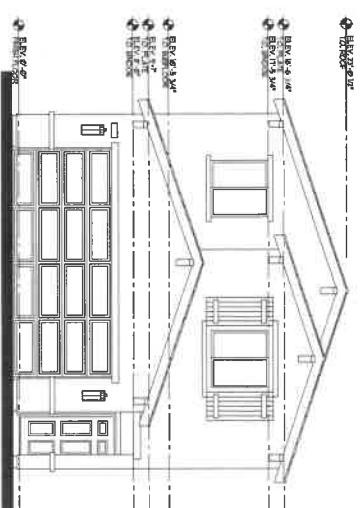
Sheet Title:
PLAN T715
EXTERIOR
ELEVATIONS

Downloaded By

Date _____

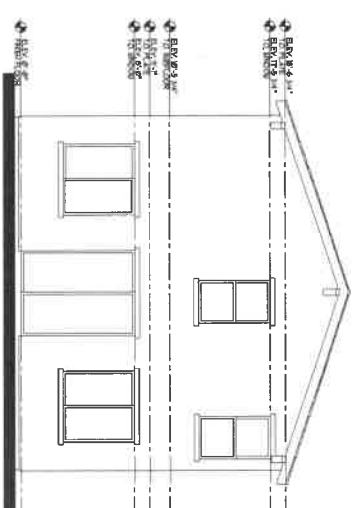
Figure 4.1 Number

A1-3a



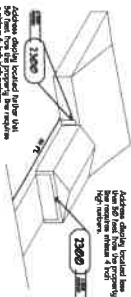
PLAN 1115 - FRONT ELEVATION 'A'

SCALE: V4.0 T-0

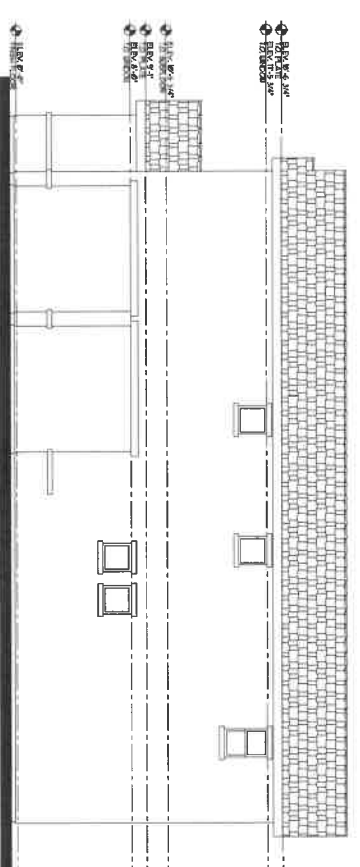


PLAN 1115 - REAR ELEVATION 'A'

SCALE: 1/4" = 1'-0"

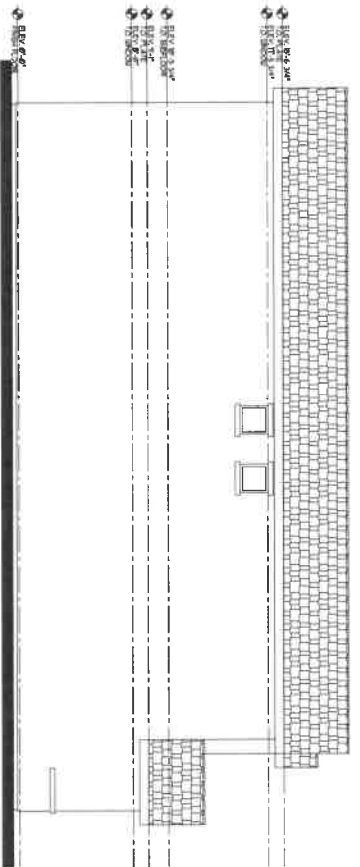
[illegible]

PLEASE PRINT
Convert the color of address markers with the color of the background.
Mark the address directly or indirectly so it is visible at night.
Please address clear of landscaping.



PLAN 1115 - RIGHT ELEVATION 'A'

SCALE: V4, 1-0

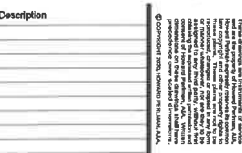
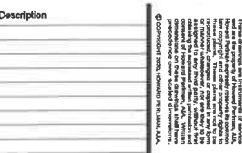
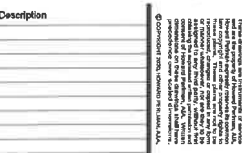


PLAN 1715 - LEFT ELEVATION 'A'

SCALE: V4', P=0

[illegible][illegible][illegible][illegible][illegible]

- [illegible]

[illegible][illegible][illegible][illegible][illegible][illegible]

D·R·HORTON
America's Builder

Dissect checked by
AHS / JMH
Date
8/13/2020
Project Number
920045

A1-3b



PLAN 1715 - REAR ELEVATION 'B'

[illegible]

[illegible]

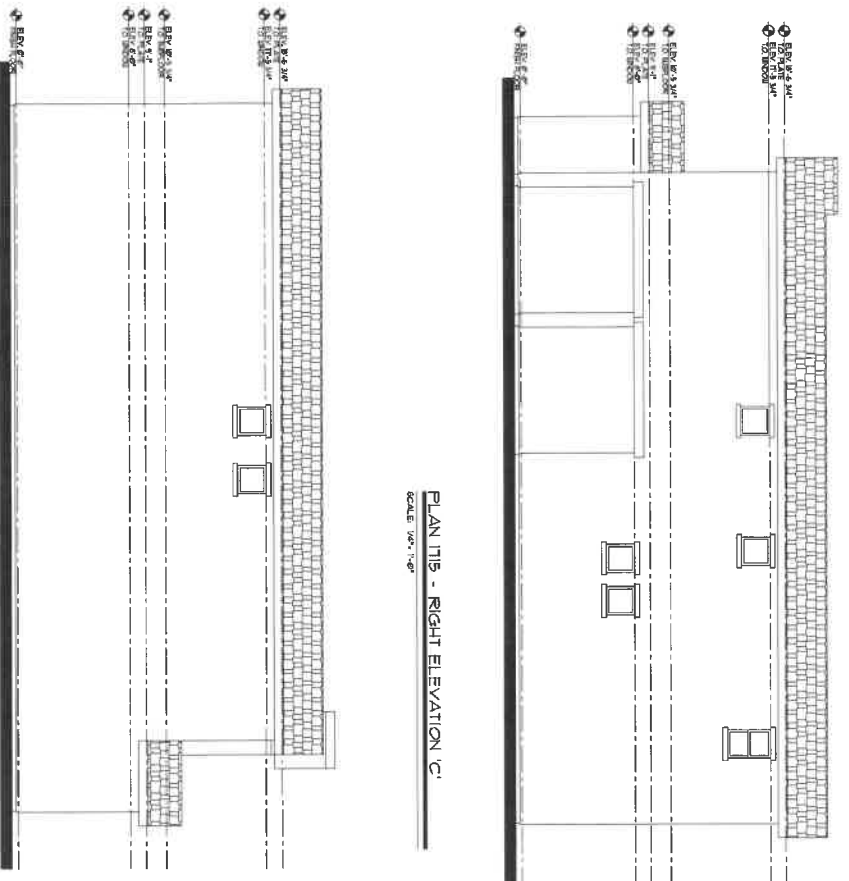
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America's Builder

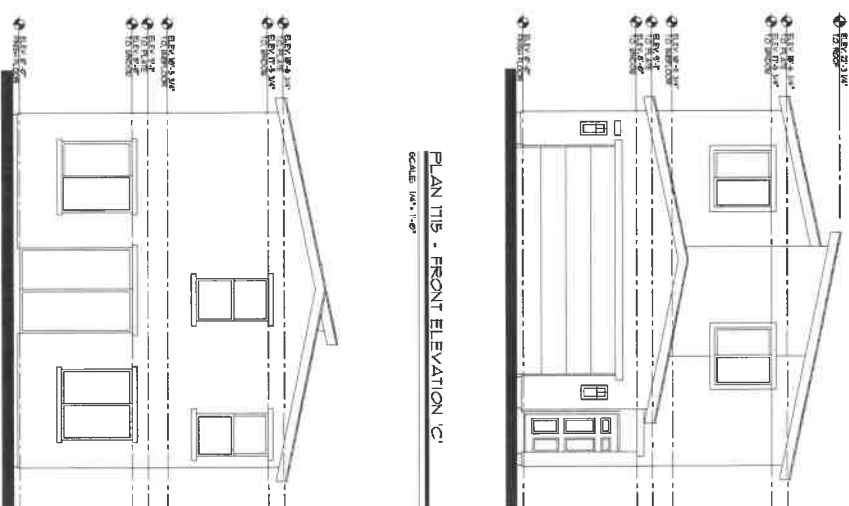
Sheet Title:
PLAN T715
EXTERIOR
ELEVATIONS

8/13/2020

A1-3c



PLAN 1715 - RIGHT ELEVATION 'C'



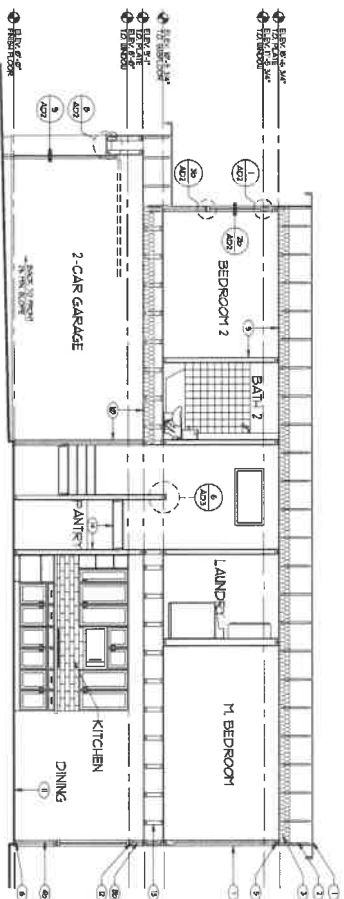
PLAN 1115 - FRONT ELEVATION 'C'

PLAN 1115 - LEFT ELEVATION 'C'

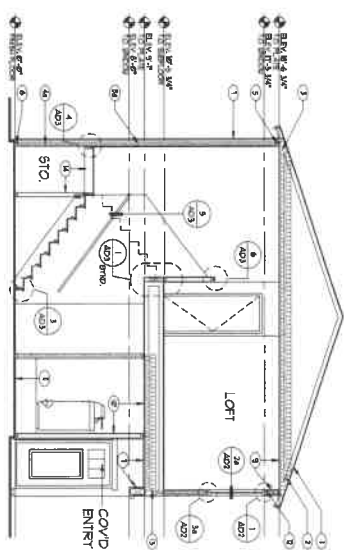
PLAN 1115 - REAR ELEVATION 'C'

[illegible]

- Contrast the color of acid-base indicators with the color of the background
- Minimize the acid-base effect or indirectly so it is visible at night
- Fluorescent acid-base indicator for detecting

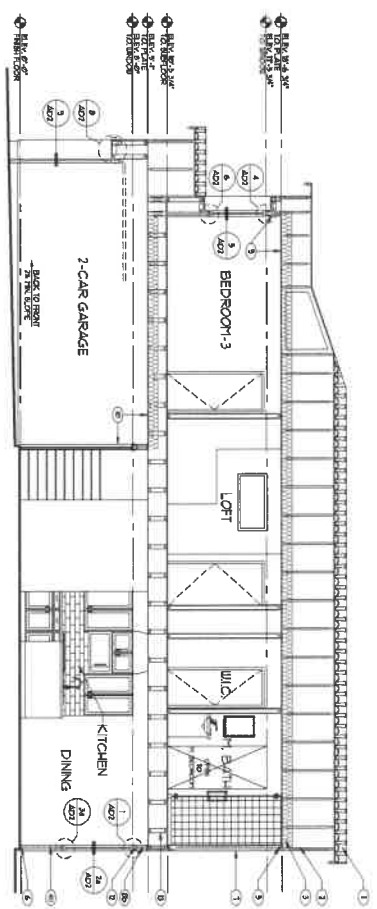


PLAN 1715 - SECTION 'B' @ ELEV. 'B'



PLAN 1715 - SECTION 'A' @ ELEV. 'A'

****REVISE SECTIONS TO REFLECT CORRECT ROOF PLAN**



PLAN 1715 - SECTION 'C' @ ELEV. 'C'

THERMAL ENVELOPE VALUES				
	TYPE	INSULATION	U-VALUE	R-VALUE
ENVELOPE	GLAZING	VT GL	0.35	0.72
	ROOF	VT RF	0.07	0.73
	WALL & PART	VT SW	0.24	0.77
DOORING	GLAZING	VT PD	0.30	0.73
	FRENCH	WOOD REIN. (LOW E)	0.27	0.73

SECTION KEY NOTES	
DESCRIPTION	
1	CONCRETE DECK, TIE OR AGE TIE OR SPACING REE STRUCTURAL
2	REOR TIE REE STRUCTURAL
3	REOR REOR TIE REE STRUCTURAL
4	REOR REOR TIE REE STRUCTURAL
5	REOR REOR TIE REE STRUCTURAL
6	REOR REOR TIE REE STRUCTURAL
7	REOR REOR TIE REE STRUCTURAL
8	REOR REOR TIE REE STRUCTURAL
9	REOR REOR TIE REE STRUCTURAL
10	REOR REOR TIE REE STRUCTURAL
11	REOR REOR TIE REE STRUCTURAL
12	REOR REOR TIE REE STRUCTURAL
13	REOR REOR TIE REE STRUCTURAL
14	REOR REOR TIE REE STRUCTURAL

[illegible]

Sheet Title:
**PLAN T115
BUILDING
SECTIONS**

Drawn/Checked by:
AHS / JMH

Date
6/13/2020

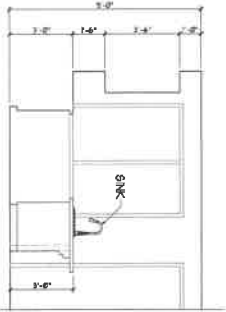
Project Number
920045

A1-4

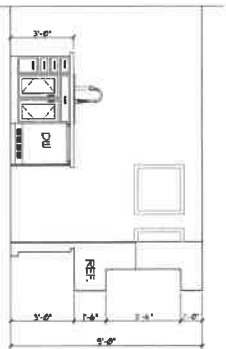
Rev	Date	By	Description

INTERIOR ELEVATIONS

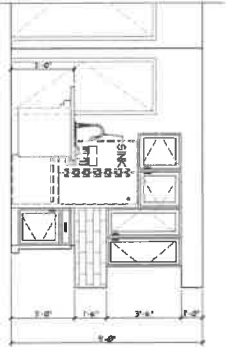
SCALE 3/8" = 1'-0"



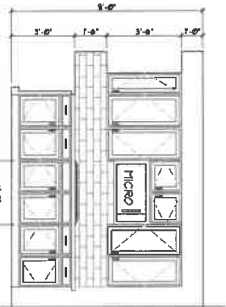
A' KITCHEN



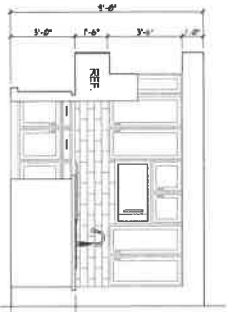
B' KITCHEN



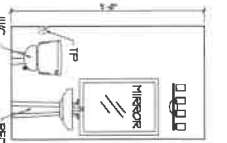
C' KITCHEN



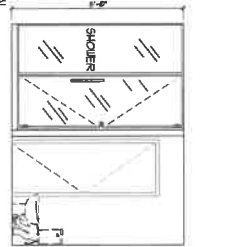
D' KITCHEN



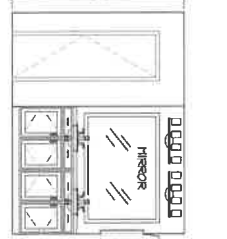
E' KITCHEN



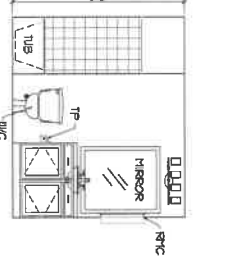
F' POWDER



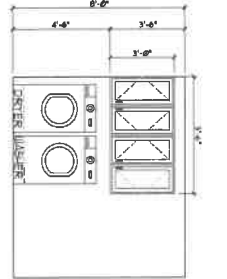
G' M. BATH



H' M. BATH



J' BATH-2

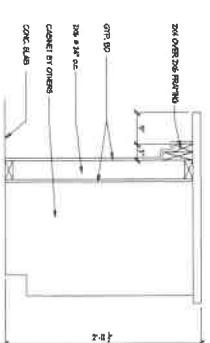


K' LAUNDRY

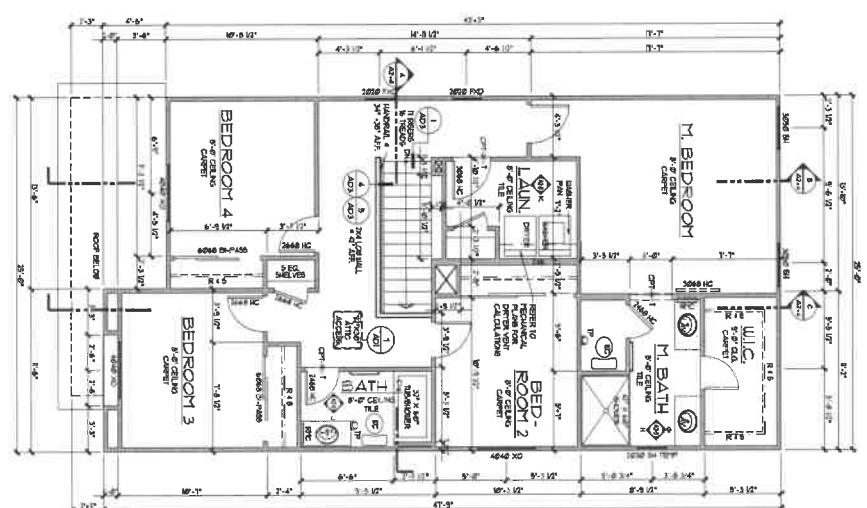
DOOR SCHEDULE					
SIZE	TNK.	MATERIAL	GLAZING	FRAME	FIRE RATING
3'-0" x 8'-0"	1 3/4"	NETAL	-	WOOD	70 MIN.
3'-0" x 6'-0"	"	GLASSING	FULL	NETAL	"
3'-0" x 6'-0"	1 3/8"	WOOD	-	WOOD	"
3'-0" x 6'-0"	"	WOOD	-	WOOD	"
2'-6" x 6'-0"	1 3/8"	WOOD	-	WOOD	"
1'-9" x 6'-0"	1 3/8"	WOOD	-	WOOD	"
8'-0" x 6'-0"	1 3/8"	WOOD	-	WOOD	"
6'-0" x 6'-0"	"	NETAL	-	NETAL	"
6'-0" x 8'-0"	"	NETAL	-	NETAL	"
REMARKS					
		EXTERIOR DOOR, SOLID CORE			
		GARAGE DOOR, BOLD CORE			
		PATIO BUILDING GLASS DOOR - TEMP. SAFETY GLAZING			
		HOLLOW CORE			
		HOLLOW CORE			
		HOLLOW CORE			
		HOLLOW CORE			
		BEDROOM BL-PLAS CL-OSET DOORS			
		BEDROOM BL-PLAS CL-OSET DOORS			
		BATHROOM GLASS DOOR			
		DETACHED GARAGE DOOR			

WINDOW SCHEDULE									
SIZE	TYPE	FRAME	GLAZING	U-FACTOR	SHGC	ADDITIONAL NOTES	YR	MARK	REMARKS
4'-0" X 4'-0"	FIXED	WNT1	3/8" CLEAR GLAZING	32	23	12" INSULATION	5	ABC WINDOW SYSTEMS	TEMPERED GLAZING
3'-0" X 2'-0"	FIXED	WNT1	3/8" CLEAR GLAZING	32	23	12" INSULATION	5	ABC WINDOW SYSTEMS	
2'-0" X 2'-0"	FIXED	WNT1	3/8" CLEAR GLAZING	32	23	12" INSULATION	5	ABC WINDOW SYSTEMS	
5'-0" X 5'-0"	DO	WNT1	3/8" CLEAR GLAZING	35	22	12" INSULATION	5	ABC WINDOW SYSTEMS	
3'-0" X 5'-0"	SH	WNT1	3/8" CLEAR GLAZING	34	22	12" INSULATION	5	ABC WINDOW SYSTEMS	

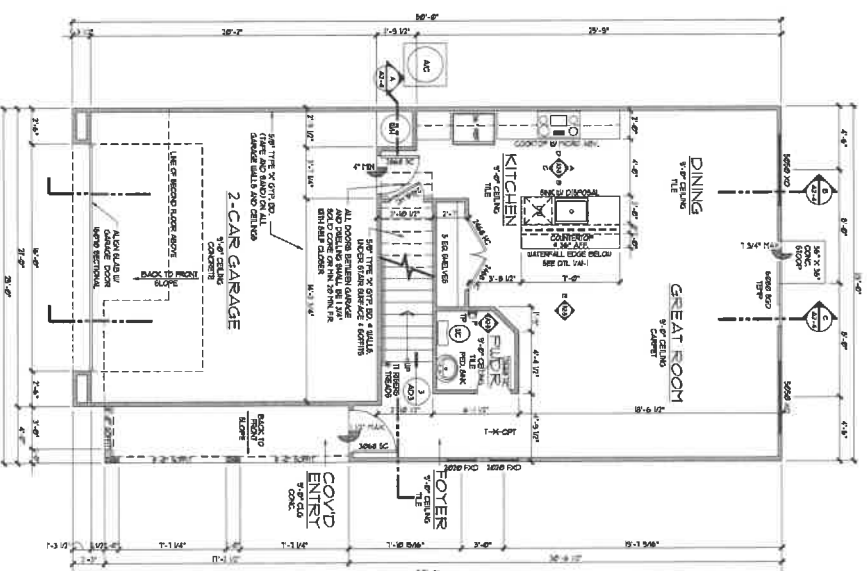
GENERAL NOTES



1 KITCHEN ISLAND DETAIL
SCALE: 3" = 1'-0"



PLAN 1795 - SECOND FLOOR PLAN



PLAN 1795 - FIRST FLOOR PLAN

[illegible]

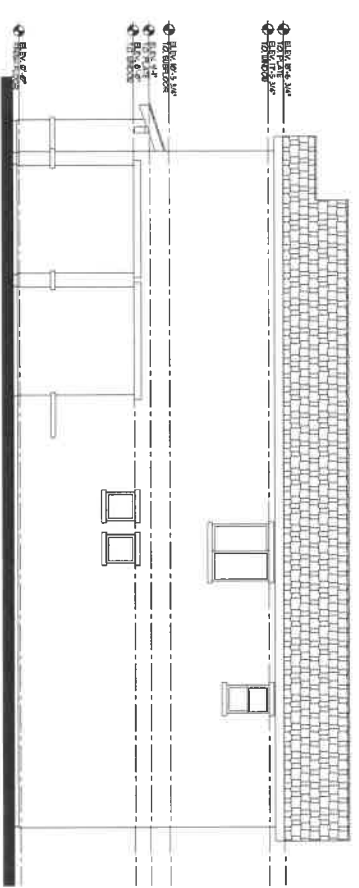
[illegible]

3. Copyright Act, 17 USC § 107, states that the fair use of a copyrighted work, such as a book, article, or poem, for purposes such as criticism, comment, news reporting, teaching, scholarship, or research, is not an infringement of copyright. The Act also states that the factors to be considered in determining whether the use is fair include: the purpose and character of the use, the nature of the copyrighted work, the amount and substantiality of the portion used, and the effect of the use upon the potential market for or value of the copyrighted work.

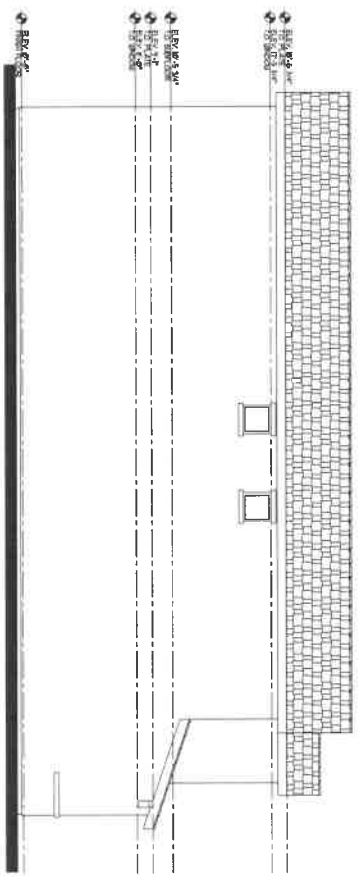
D·R·HORTON
America's Builder

Sheet Title:
PLAN 1795
EXTERIOR
ELEVATIONS
'A'

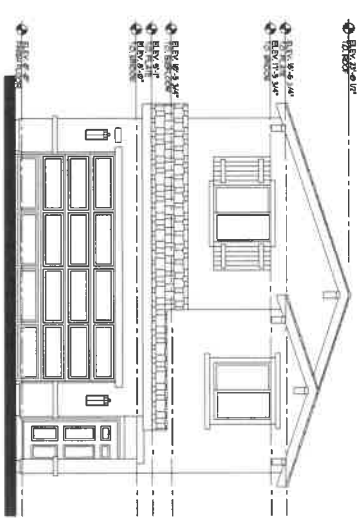
920045
A2-3a



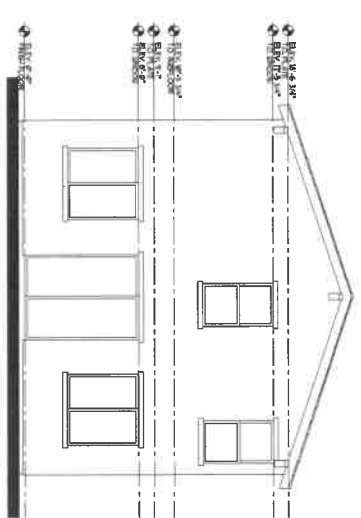
PLAN 1795 - RIGHT ELEVATION 'A'



PLAN 1795 - LEFT ELEVATION 'A'



PLAN 1795 - FRONT ELEVATION 'A'

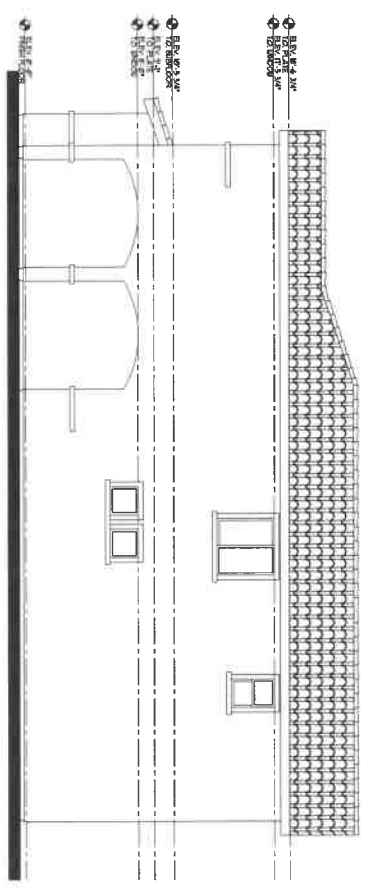


PLAN 1795 - REAR ELEVATION 'A'

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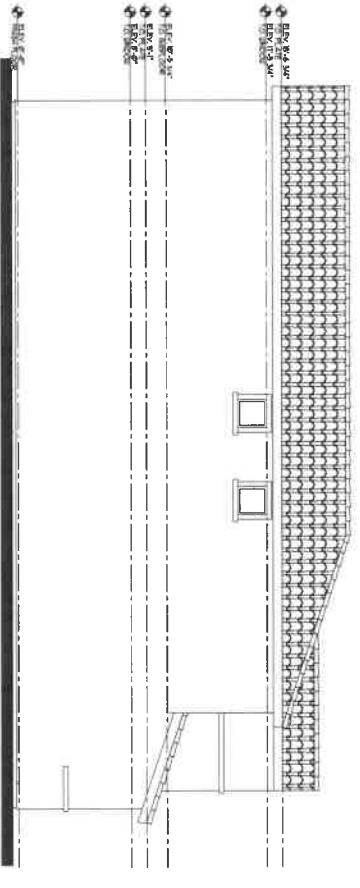
ELEVATION KEY NOTES	
1	DESCRIPTION
2	CONCRETE TYPE, THE 10' AND 12' DEPTH ARE STANDARD FOR WALKWAYS OF LAMINATED ASPHALT
3	ONE 10'X12' DEPTH STEPS
4	BALANCE WALK - ORANGEWOOD STREET, SECTION 1
5	WALKWAY W/OUT CURB, ORANGEWOOD STREET
6	WALKWAY W/OUT CURB, ORANGEWOOD STREET
7	APPROX. LOCATION
8	DRY ROAD
9	DRY ROAD WITH CURB, ORANGEWOOD STREET & 40'
10	APPROXIMATE PLANT TYPE - SEE REFERENCE 35' X 40'
11	PLANTING MATERIAL - SEE REFERENCE 15' X 40'

Rev	Date	By	Description



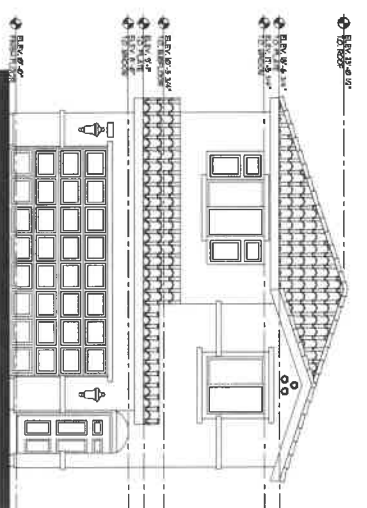
PLAN 795 - RIGHT ELEVATION 'B'

SCALE: 1/4" = 1'-0"



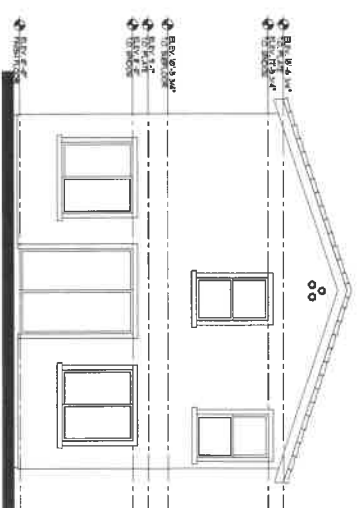
PLAN 795 - LEFT ELEVATION 'B'

SCALE: 1/4" = 1'-0"



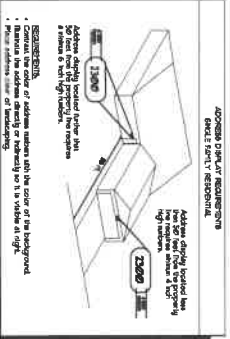
PLAN 795 - FRONT ELEVATION 'B'

SCALE: 1/4" = 1'-0"



PLAN 795 - REAR ELEVATION 'B'

SCALE: 1/4" = 1'-0"



DESCRIPTION
1. CONCRETE ROOF TILE OR 400 TILES OF 24" SQUARE SET STRUCTURALLY ON 2" MINIMUM OF 1" SPACE SPACING SEE STRUCTURAL IN PLAN
2. GABRIEL ROOF - 24" SQUARE TILES SET STRUCTURALLY ON 2" MINIMUM OF 1" SPACE SPACING
3. GABRIEL ROOF - 24" SQUARE TILES SET STRUCTURALLY ON 2" MINIMUM OF 1" SPACE SPACING
4. EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL NOTES
5. ADDRESS LOCATION - SEE ELECTRICAL NOTES
6. ADDRESS LOCATION - SEE ELECTRICAL NOTES
7. ADDRESS LOCATION - SEE ELECTRICAL NOTES
8. ADDRESS LOCATION - SEE ELECTRICAL NOTES
9. ADDRESS LOCATION - SEE ELECTRICAL NOTES
10. ADDRESS LOCATION - SEE ELECTRICAL NOTES

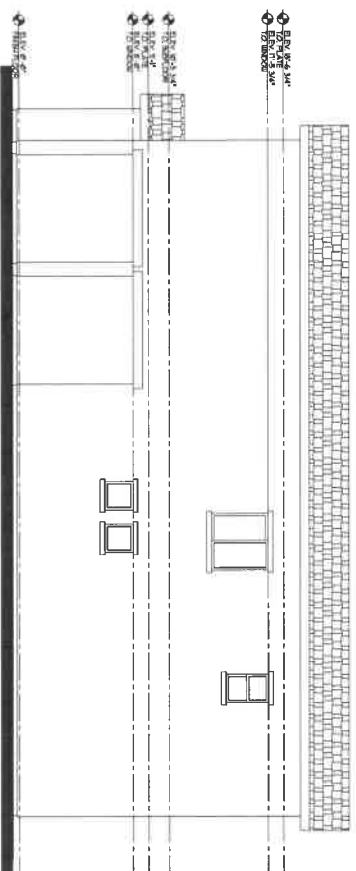
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**PLAN T795
EXTERIOR
ELEVATIONS
'C'**

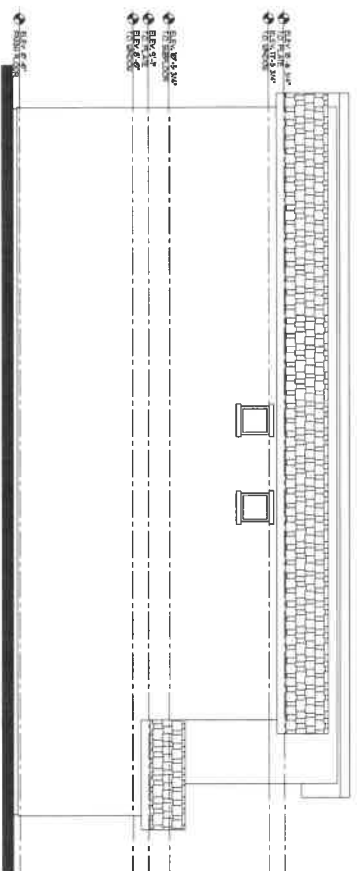
AHS / JMH

Project Number
920045

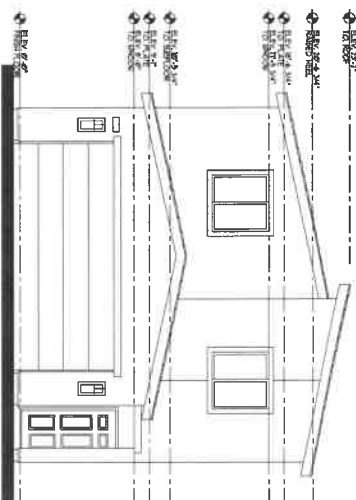
A2-3C



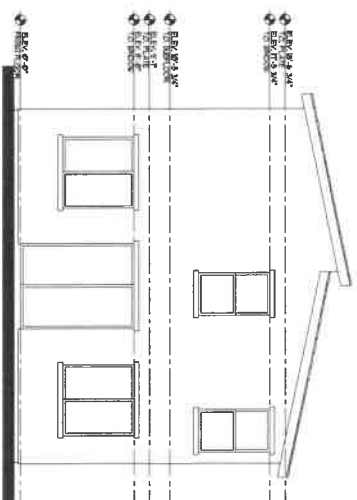
PLAN 1795 - RIGHT ELEVATION 'C'



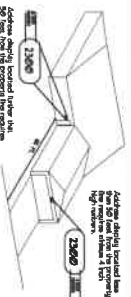
PLAN 1795 - LEFT ELEVATION 'C'



SCALE: 1/4" = 1'-0"



PLAN 1795 - REAR ELEVATION 'C'



- Contrast the color of address markers with the color of the background.
- Marked as the address directly or indirectly so it is visible at night.
- Place address color of background.

ELEVATION KEY NOTES

DESCRIPTION
1 CONCRETE FROM 10' TO 40' B.T. OF ELEVATION, SEE CONSTRUCTION NOTES FOR DETAILS
2 R.O. RELATION OF LUMBER FINISH TO FINISH OF CONCRETE
3 ONE COAT STUCCO SYSTEM
4 GRADE GRADE - STUCCO SYSTEM
5 PORTLAND CEMENT FINISH - SEE FINISHES, FINISHES
6 PORTLAND CEMENT FINISH - SEE FINISHES, FINISHES
7 4" CONCRETE - 4" CONCRETE
8 CONCRETE FROM 10' TO 40' B.T. OF ELEVATION, SEE CONSTRUCTION NOTES FOR DETAILS
9 CONCRETE FROM 10' TO 40' B.T. OF ELEVATION, SEE CONSTRUCTION NOTES FOR DETAILS
10 CONCRETE FROM 10' TO 40' B.T. OF ELEVATION, SEE CONSTRUCTION NOTES FOR DETAILS

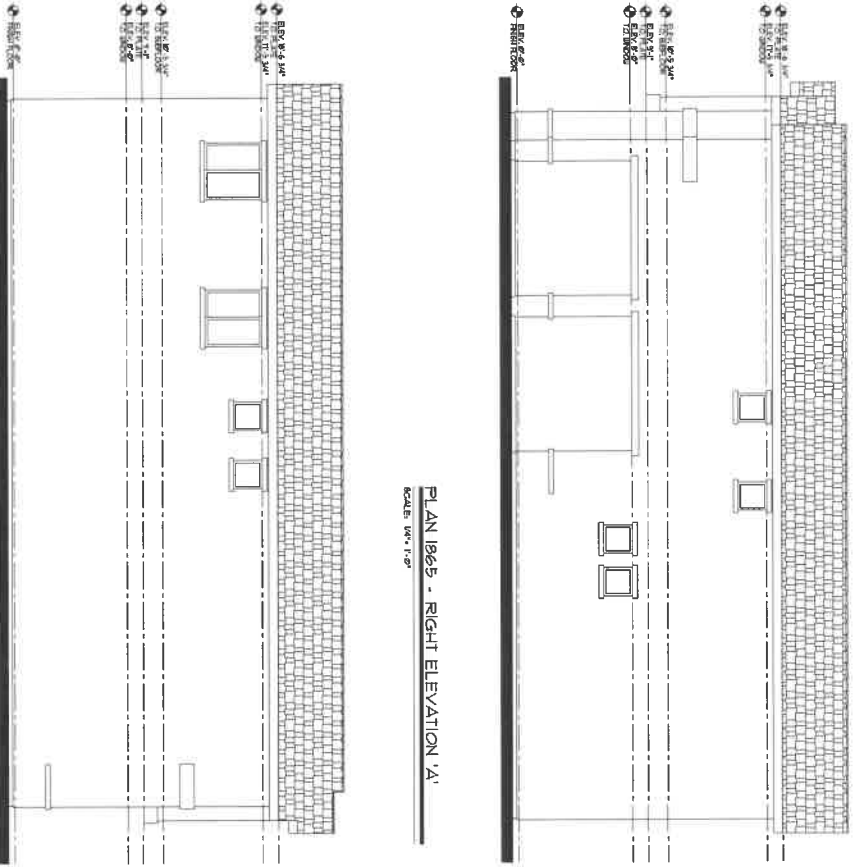
ELEVATIONS
'C'
Drawing Checked By: AHS / JMH
Date: 8/13/2020
Project Number: 920045
A2-3c

[illegible]

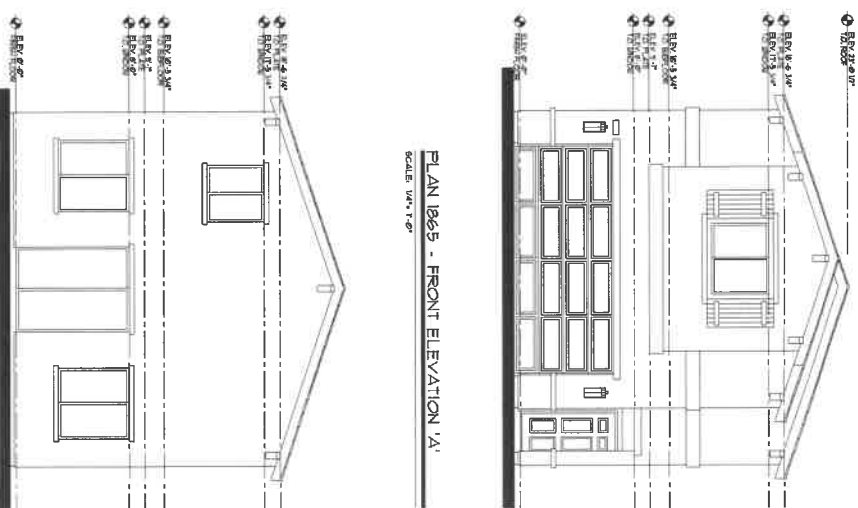
D·R·HORTON
America's Builder

Shoot Tdp:
PLAN 1865
EXTERIOR
ELEVATIONS
'A'

A-3-3a



PLAN 1865 - RIGHT ELEVATION 'A'



PLAN 1865 - FRONT ELEVATION 'A'

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

1200mm

2400mm

Add new double hinged door here

Add new double hinged door here. This door will be 2400mm wide. It will be a double door with two leaves and a transom or half height transoms.

PLAN 1865 - LEFT ELEVATION 'A'

SCALE: 1/4" = 1'-0"

[illegible]

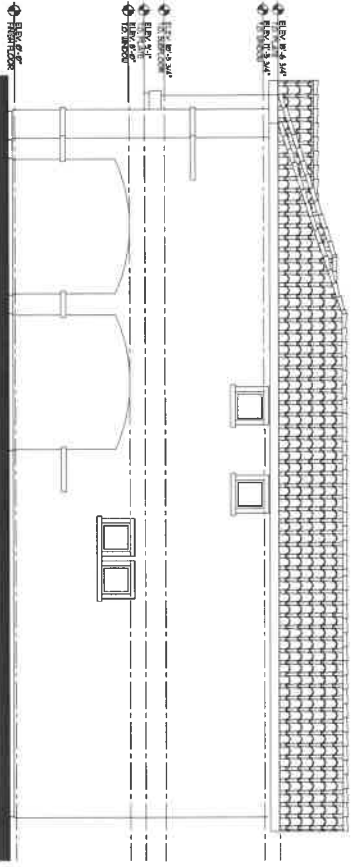
Sheet Title:

PLAN 1865
EXTERIOR
ELEVATIONS

Printed/Checked By
AHS / JMH
Date

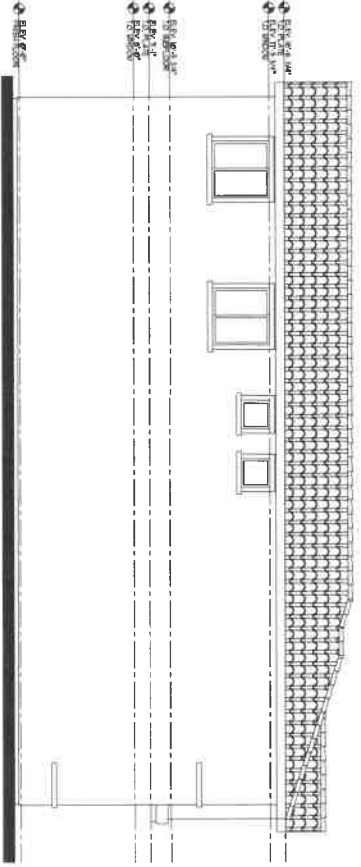
Project Number
920045

A-3-3b



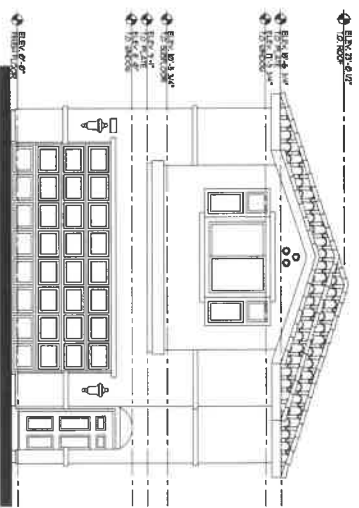
PLAN 1865 - RIGHT ELEVATION 'B'

800-211-1475 • FAX 800-211-1475



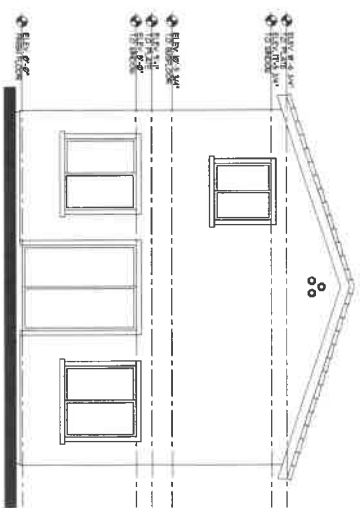
PLAN 1865 - LEFT ELEVATION 'B'

MCALP, W&P-O.



PLAN 1865 - FRONT ELEVATION 'E'

ACALM, 14.5, 1'-0"



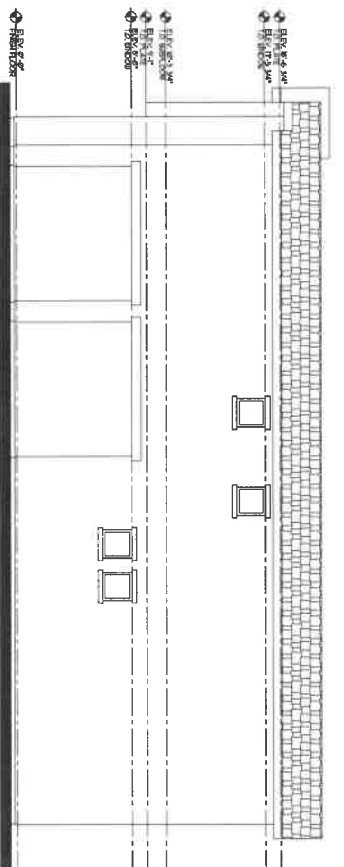
PLAN 1865 - REAR ELEVATION 'B'

OCALB, 1/6, 1-0-

② EVALUATION KEY NOTES

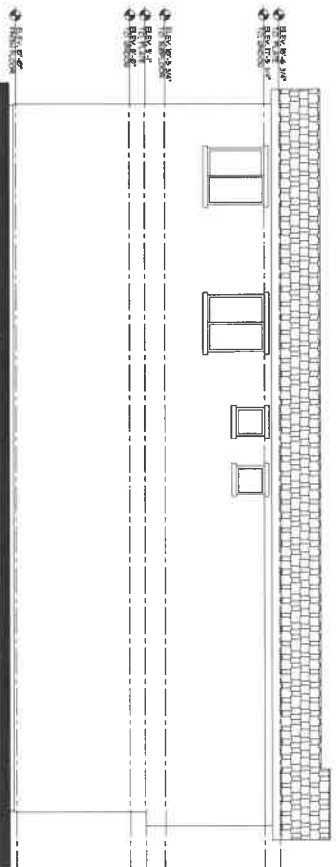
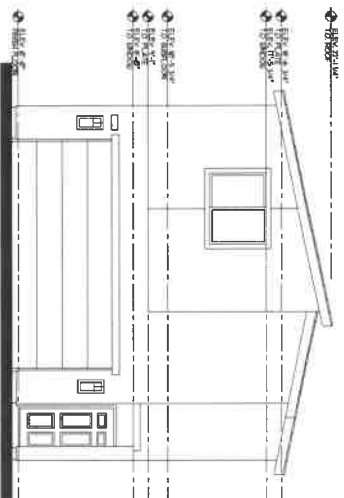
1. CONSIDER REPAIRING A CAR FIRST BY STOPPING THE MECHANICAL PROBLEM, THEN BY STOPPING THE ELECTRICAL PROBLEM.
E.G. REPAIRING A FUEL INJECTION PROBLEM
2. ONE DAY SAVED OTHER
3. MAKE GOOD - CHECKED FIRST, SECOND, THIRD
4. DONOR UNIT FROM - USE ELECTRICAL, PUMP
5. REPAIR ALREADY - USE PARTIAL 2) NO
6. ADDRESS LOCATION
7. EPP (OWN TEAM)
8. REPAIR FROM OUTSIDERS - USE PARTIAL BY NO
9. REPAIRING THE FIRST - USE PARTIAL BY NO
10. REPAIRING THE FIRST - USE PARTIAL BY NO

Rev	Date	By	Description



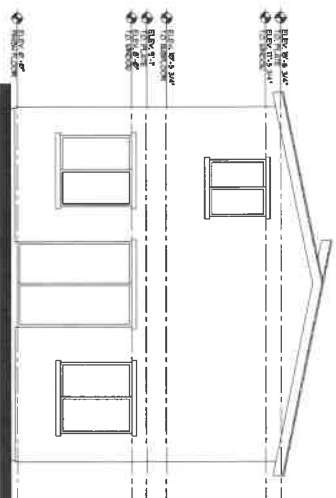
PLAN 1865 - RIGHT ELEVATION 'C'

PLAN 1865 - FRONT ELEVATION 'C'



PLAN 1865 - LEFT ELEVATION 'C'

PLAN 1865 - REAR ELEVATION 'C'



ACCESSORY UNIT REQUIREMENTS
MODEL: INTEL / RESIDENTIAL

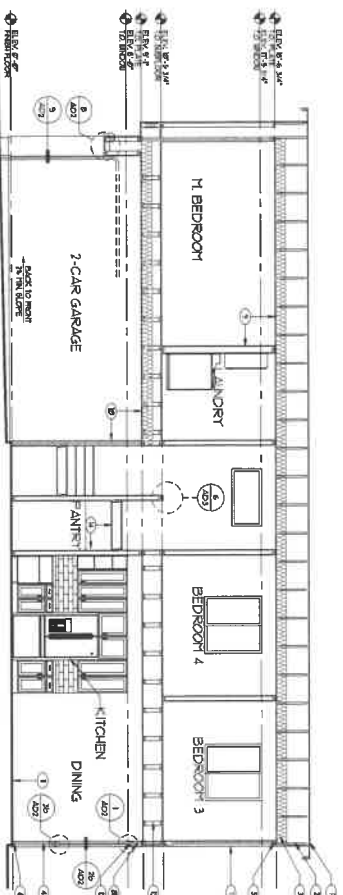
Additional details required for this unit are as follows:
- Additions to the exterior of the unit must be made within 4 feet of the existing exterior wall.
- Additions to the interior of the unit must be made within 4 feet of the existing interior wall.
- Additions to the roof of the unit must be made within 4 feet of the existing roofline.
- Additions to the foundation of the unit must be made within 4 feet of the existing foundation.
- Additions to the exterior of the unit must be made within 4 feet of the existing exterior wall.
- Additions to the interior of the unit must be made within 4 feet of the existing interior wall.
- Additions to the roof of the unit must be made within 4 feet of the existing roofline.
- Additions to the foundation of the unit must be made within 4 feet of the existing foundation.

ELEVATION KEY NOTES

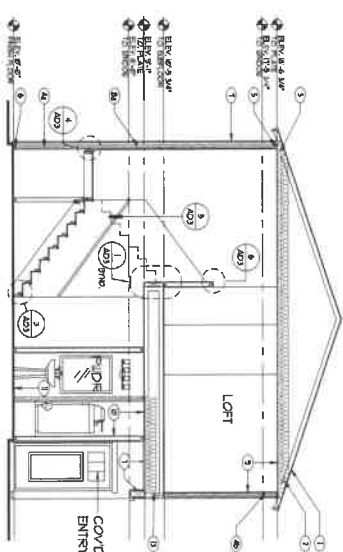
#	DESCRIPTION
1	ONE COAT STUCCO SYSTEM
2	EXTENSION LIGHT FIXTURE - SEE ELECTRICAL NOTES
3	ROOF FLASHING - SEE DETAILS 17.01
4	APPROXIMATE LOCATION
5	DECOMPOSITIVE FLASHING - SEE DETAILS 17.01
6	DECOMPOSITIVE FLASHING - SEE DETAILS 17.01
7	DECOMPOSITIVE FLASHING - SEE DETAILS 17.01

[illegible]

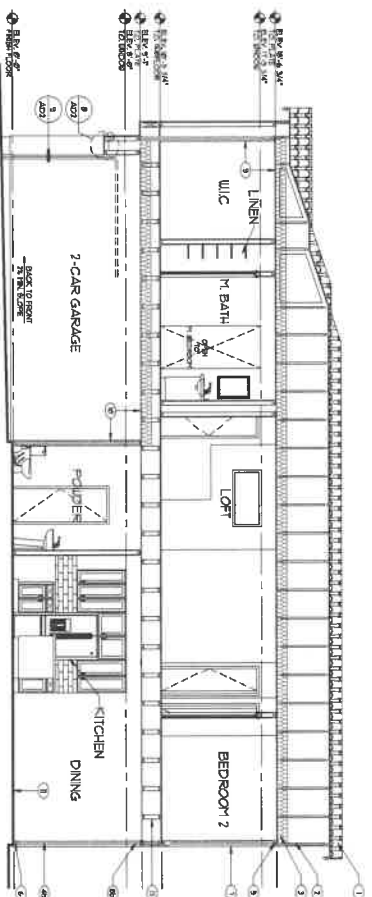
***REVISE SECTIONS TO REFLECT CORRECT ROOF PLAN**



PLAN 1865 - SECTION 'B' @ ELEV. 'B'



PLAN 1865 - SECTION 'A' @ ELEV. 'A'



PLAN 1865 - SECTION 'C' @ ELEV. 'C'

SECTION KEY NOTES

[illegible]

SECTION NOTES

A	PROVIDE THERMAL BARRIER FOR ROOF PLASTIC INSULATION REQUIRED BY IRC SECTION 1504.1.11P.
B	BRIM AFFIXES AND COULD PROVIDE SHIRT BARRIER OVER BARRIER OF 1/4" RIGID PLASTIC INSULATION. THE BARRIER WAS NOT AFFIXED TO THE ROOF PLASTIC INSULATION. THE WOOD STRUCTURAL PANEL, 3/4" X 24" PARTICLE BOARD, 1/4" X 1/4" HORIZONTAL JOIST, 2" X 6" STUD, OR CONCRETE-REINFORCED MASONRY BASE, 12" X 12" BLOCK OR 8" X 8" CMU (IRC Section 1905.3.3.1 305.3.3)

THERMAL ENVELOPE VALUES

	TYPE	PRICE	U-VALUE	R-OC
BRICK	FLYER	VF XL	0.30	
	FOOT	VF XL	0.30	0.23
ON-LINE		VF XL	0.34	0.23
DOOR		VF PLATE	0.33	0.23
FRONT				0.23

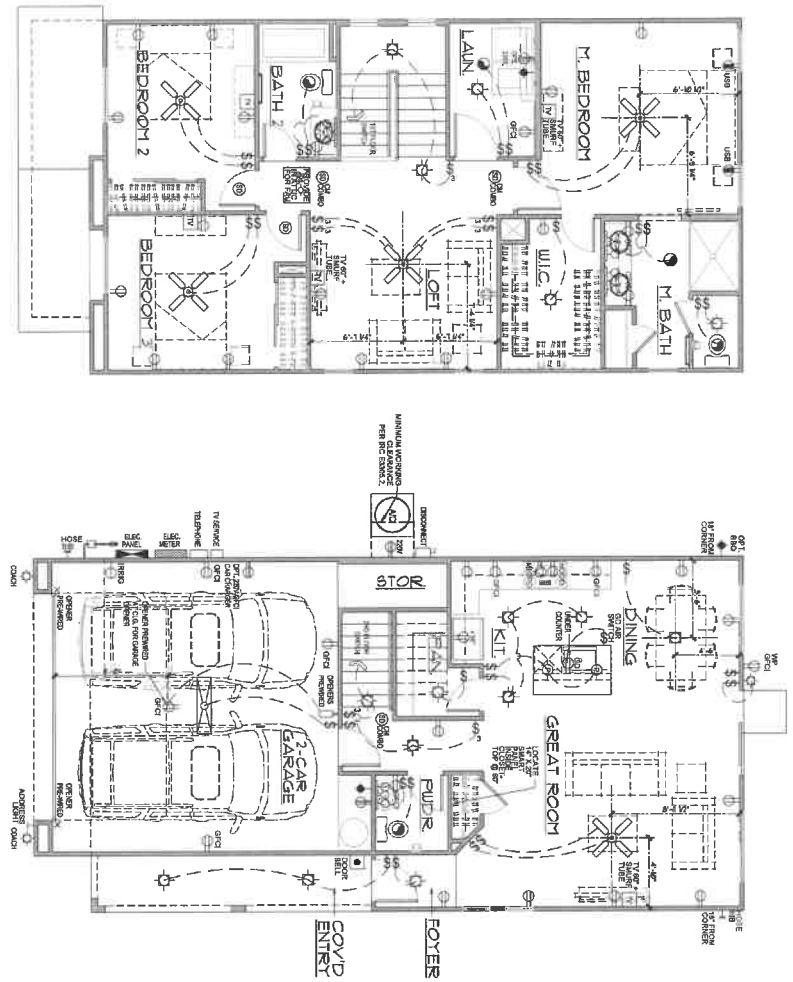
[illegible]

Shoot Yrld:
PLAN 7715
ELECTRICAL
PLAN

Printed/checked By

Date 07/27/2020

Project Number



PLAN 1715 - SECOND FLOOR ELECTRICAL PLAN

PLAN IT15 - FIRST FLOOR ELECTRICAL PLAN












































GENERAL NOTES

1. CENTER, ALL CENLNO, #H00242 (H17) IN ROOMS LINE 055 NOTED OTHERWISE.
2. PAGE BACHTHOORN WILL PROVIDE ORDER, AKA AT FINAL LUNA, AND DOCUMENT. CENTER ORDER HANDED AT FINCH LUN, COUNTRIES, REFER TO ATTORNEY IN FINCH.
3. EXAMINER FINE SHALL BE ANOTHER NOBEL, CTR CENLNO, MONITOR OR AM PROTECTED RECORD.
4. LOOP ALL OF THE PROTECTED RECEIPTS TO A MINIMUM OF 100 OUTLET.
5. NEW, @ FINCH IS OPTIONAL.
6. ALL RECEIPTS TO BE TAMPER RESISTANT

NOTICE

- [illegible]

ELECTRICAL SYMBOLS LIST

- | | | |
|---|--------------------------------|-------------------------------------|
|  | CABLE | CABLES (W/OUT PLUGS), SURGE IN, LED |
|  | PIVOTAL POINT | PIVOTAL POINT |
|  | INWARD LIGHT POINT | INWARD LIGHT POINT |
|  | REFLECTED LIGHT POINT | REFLECTED LIGHT POINT |
|  | 12.4° ILLUMINATION LIGHT POINT | 12.4° ILLUMINATION LIGHT POINT |
|  | WALL MOUNTED COACH LIGHT POINT | WALL MOUNTED COACH LIGHT POINT |
|  | DOWN LIGHT POINT | DOWN LIGHT POINT |
|  | DOWN LIGHT POINT | DOWN LIGHT POINT |
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|  | DOWN LIGHT POINT | DOWN LIGHT POINT |
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[illegible]

D·R·HORTON
America's Builder

Sheet Title:
PLAN 7795
ELECTRICAL
PLAN

Drawn/Checked By

Date _____

8/13/2020

Project Number:

920045

E2











GENERAL NOTES

1. CENTER ALL CEILING JOCKEYHEADS IN ROOM UNLESS NOTED OTHERWISE.
2. PLACE BATHROOM WALL FOLDERS OVER LUNGS AT DUAL WALLS AND COUNTERS. CENTER OVER MIRROR AT SINGLE WALLS. CENTER OVER SINK AT SINGLE WALLS.
3. ALL COUNTERS REFER TO INTERIOR & EXTERIOR.
4. DISPLAY FILING SHALL BE AUTOMATIC MODEL, 0110 CEILING MOUNTED OR AN APPROVED EQUIV.
5. LOOP ALL GFG PROTECTED RECEPTS TO A MINIMUM OF 10 INCH OUTLET.
6. 2ND, 3RD, 4TH IS OPTIONAL.
7. ALL RECEPTS TO BE TAMPER RESISTANT

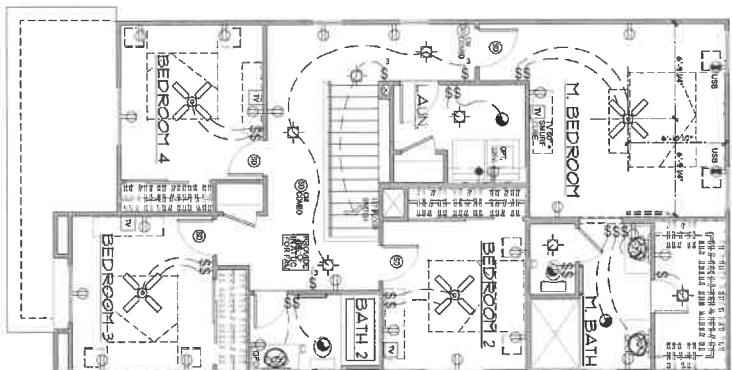
NOTICE

- [illegible]

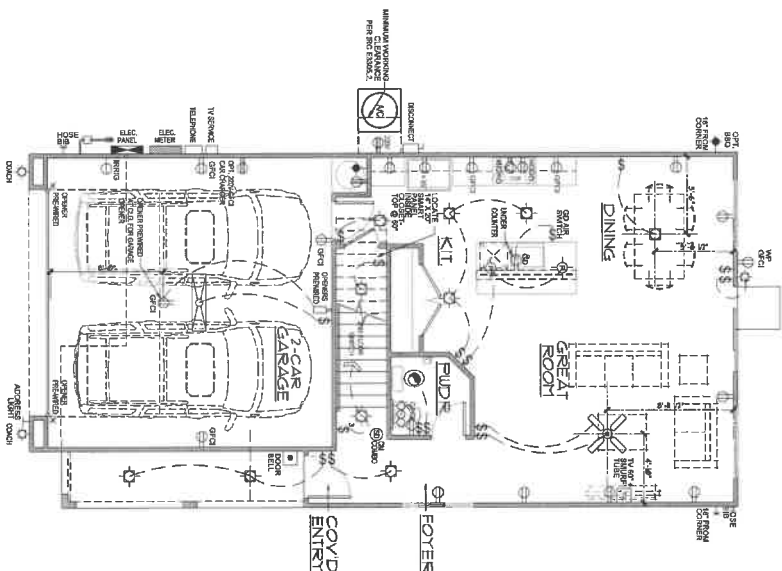
ELECTRICAL SYMBOL'S LIST

- | | |
|---|---|
|  | TELEVISION, CABLE, SATELLITE |
|  | SPEAKER, PA, OUTLET |
|  | LIGHT FIXTURE |
|  | CABLE, MONITOR, VIDEO, VIDEO SOURCE |
|  | TELEPHONE, VOICEMAIL, VOICEMAIL SOURCE |
|  | TELEPHONE, TELEPHONE SOURCE, TELEPHONE SOURCE |
|  | TELEPHONE, TELEPHONE SOURCE |
|  | TELEPHONE, TELEPHONE SOURCE |
|  | TELEPHONE, TELEPHONE SOURCE |
|  | TELEPHONE, TELEPHONE SOURCE |

PLAN 1795 - SECOND FLOOR ELECTRICAL PLAN



PLAN 1195 - FIRST FLOOR ELECTRICAL PLAN



[illegible]

Sheet Title:
PLAN 1865
ELECTRICAL
PLAN

Checked By
AHS / JMH

[illegible]

Project Number

920045









































GENERAL NOTES

1. CENTER ALL CEILING ASSEMBLIES IN ROOMS WITH LESS THAN 10' CEILING.
2. PLACE BATHROOM WALL FIXTURES OVER LAVARY AT DUAL WALLS AND COUNTERS. CENTER OVER MIRROR AT SINGLE WALLS.
3. ALL COUNTERS, REFER TO SECTION 041000, KITCHEN, FOR COUNTERTOP, REFER TO SECTION 041000, KITCHEN, FOR COUNTERTOP, REFER TO SECTION 041000, KITCHEN, FOR COUNTERTOP.
4. EXHAUST FANS SHALL BE IN ROOM MODEL 0170 CEN, MOUNTED ON AN APPROVED DUCT.
5. LOOP ALL OR PROTECTED RECEPTACLES TO A NEUTRAL OR GROUND OUTLET.
6. 200V, 3 PHASE IS OPTIONAL.
7. ALL RECEPTACLES TO BE TAMPER RESISTANT

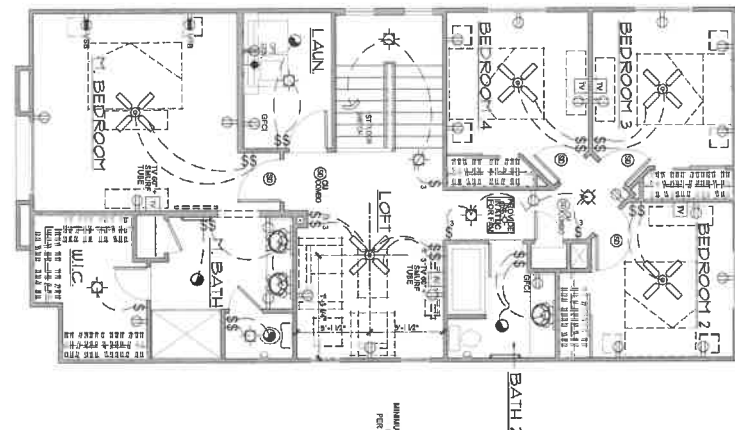
NOTICE

- [illegible]

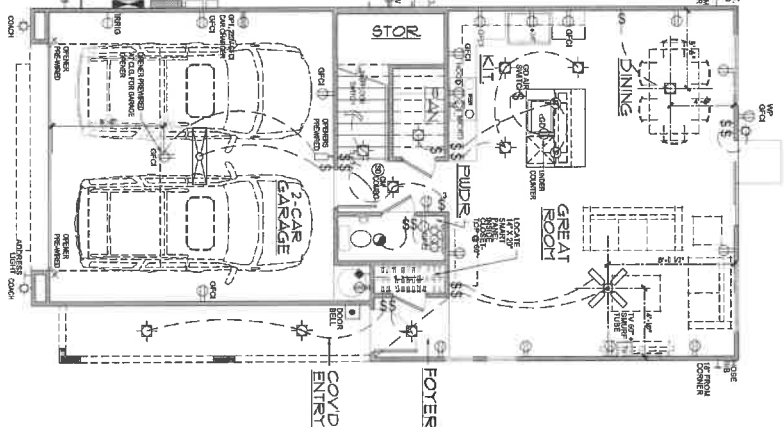
ELECTRICAL SYMBOLS LIST

- | | |
|---|---|
|  | CERAMIC LIGHT FIXTURE - SHAWNEE INT. LED |
|  | PACIFICANT PRISMITE |
|  | MAKING LIGHT FIXTURE |
|  | INCREASED LIGHT FIXTURE |
|  | 12 x 48 FLOURESCENT LIGHT FIXTURE |
|  | WALL MOUNTED COACH LIGHT FIXTURE w/ PHOTO SEL. |
|  | FLUORESCENT W/ W/AL. AND |
|  | FLUORESCENT W/AL. ON 6 |
|  | DOWN LIGHT RECEPTACLE ON 42" W/AL. IN KITCHENS, |
|  | DOWN LIGHT RECEPTACLE - 14" W/AL. 107 |
|  | PREHANGED RECEPTACLE |
|  | 8" x 8" RECEPTACLE - A/C |
|  | SHADE RECEPTACLE - HANGING CONTROL IN C/O |
|  | 8" x 8" RECEPTACLE - 14" W/AL. 107 |
|  | DOWN LIGHT RECEPTACLE |
|  | FLOOR DOWN LIGHT RECEPTACLE - A/C |
|  | THE PIONEER CO. LIGHT |
|  | |
|  | |
|  | TELEPHONE CABLE CO. LIGHT |
|  | SHADE & POLE SWITCH |
|  | 3-WAY SWITCH |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |
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|  | C/O. MOUNTED W/AL. W/AL. SHADE |
|  | C/O. MOUNTED W/AL. W/AL. SHADE |

PLAN 1865 • SECOND FLOOR ELECTRICAL PLAN



PLAN 1865 - FIRST FLOOR ELECTRICAL PLAN



Neighborhood Meeting Summary
Tropical/Losee
February 25, 2021

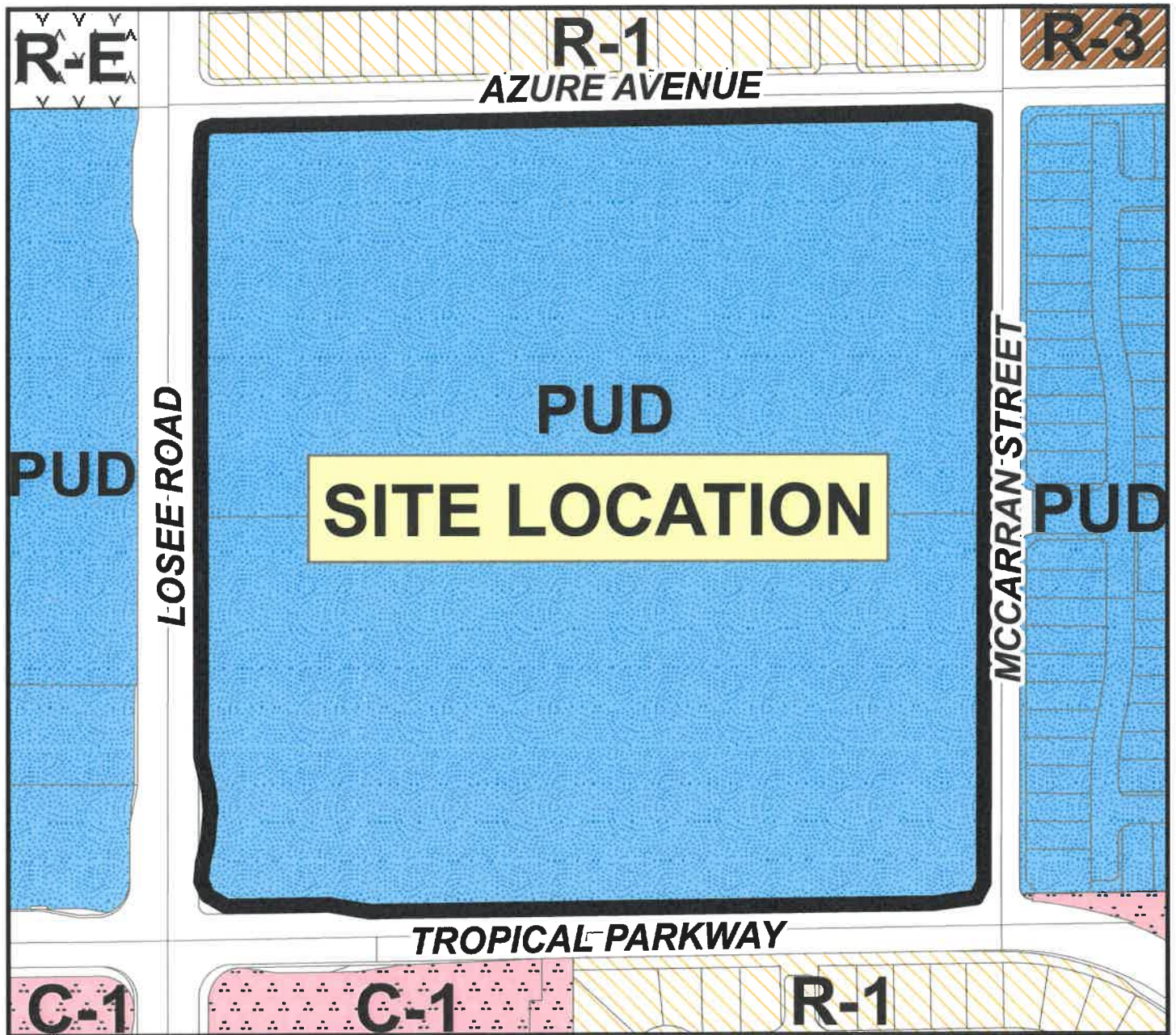
A virtual neighborhood meeting was held for the above project on Thursday, February 25, 2021. A copy of the notice is attached. Stephanie Allen from Kaempfer Crowell attended the meeting on behalf of the developer. Councilman Barron was also in attendance.

This neighborhood meeting was attended by three neighbors. Stephanie Allen presented the details of the project. The neighbors inquired about the heights of the buildings and street parking. Councilman Barron brought up safety concerns on McCarran Street and suggested having those lots face out onto McCarran Street.



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: DR Horton, Inc
Application Type: Property Reclassification
Request: To allow a 3.15 acre commercial development; a 140-lot single-family subdivision; and a 246-unit multi-family development.
Project Info: Northeast corner of Losee Road and Tropical Parkway
Case Number: ZN-07-2021

3/19/2021

