

## **ORDINANCE NO. 3070**

AN ORDINANCE RELATED TO ZONING; RECLASSIFYING APPROXIMATELY 6.5± ACRES IN THE ZONING MAP OF NORTH LAS VEGAS FROM A C-2, GENERAL COMMERCIAL DISTRICT TO A PUD, PLANNED UNIT DEVELOPMENT DISTRICT (ZN-03-2021, NOBLE PEAK) FOR A 70-LOT, SINGLE-FAMILY ATTACHED SUBDIVISION FOR PROPERTY LOCATED WEST OF SCOTT ROBINSON BOULEVARD AND APPROXIMATELY 581 FEET NORTH OF CRAIG ROAD AND PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO.

**WHEREAS**, the rezoning is consistent with the Comprehensive Plan; and

**WHEREAS**, the Council determines that the amendment will not adversely affect the health and general welfare; and,

**WHEREAS**, according to Paragraph B of Section 70 of Chapter 12 of Title 17 of the North Las Vegas Municipal Code, the City Council may, by ordinance, reclassify property.

**NOW THEREFORE**, the City Council of the City of North Las Vegas does ordain:

**SECTION 1:** In accordance with the provisions of Ordinance No. 3070, the following described parcel of land shall be reclassified as follows:

FROM C-2, GENERAL COMMERCIAL DISTRICT TO PUD, PLANNED UNIT DEVELOPMENT DISTRICT (ZN-03-2021), THE FOLLOWING PROPERTY DESCRIBED TO WIT:

**APN: 139-04-201-021**

### **EXHIBIT "A"**

**EXPLANATION:** THIS DESCRIPTION REPRESENTS THE BOUNDARY OF THE "NOBLE PEAK" PROJECT.

### **DESCRIPTION**

ALL OF LOT 2 AS SHOWN BY MAP THEREOF IN FILE 126, PAGE 50 OF PARCEL MAPS, IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA, LYING WITHIN THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 4, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF NORTH LAS VEGAS, CLARK COUNTY, NEVADA.

CONTAINING 6.48 ACRES, MORE OR LESS.

**SECTION 2:** The Planned Unit Development District (PUD) herein is subject to the development standards and requirements of the North Las Vegas Municipal Code as well as the following conditions of approval:

1. Unless expressly authorized through a variance, waiver or another approved method, this development shall comply with all applicable codes and ordinances.
2. A Final Development Plan for the 70-lot attached, single-family residential is required.

3. The following amenities shall be provided within the open space areas: age appropriate playground equipment with EPDM surfacing; turfed open play areas; shaded picnic areas; and dog stations.
4. The landscaping that is provided between the units, the porches, and the garage area shall be maintained by the Home Owners Association.
5. Setbacks for the lots are as follows:
  - Front setback – 12-feet
  - Porch setback – 10-feet
  - Side yard setback building (interior) – 5-feet
  - Side yard setback building (corner) – 5-feet
  - Attached building to building setback – 0-feet
  - Rear setback – garage – 4-feet
  - Rear setback – living – 4-feet
6. All known geologic hazards shall be shown on the preliminary development plan, tentative map and the civil improvement plans. Geological hazards such as fault lines or fissures affecting residential structures may substantially alter the tentative map layout and require the submission of a revised tentative map which must be approved by the City prior to final approval of the civil improvement plans. The footprint of proposed structures shall be plotted on all lots impacted by faults and/or fissures and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
7. Approval of a drainage study is required prior to submittal of the civil improvement plans.
8. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.
9. The property owner is required to grant roadway easements where public and private streets intersect.
10. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way.
11. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* Section 17.24.040. Conformance may require modifications to the site.
12. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1 and 222.
13. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.

14. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
15. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.

**SECTION 3: NON-INFRINGEMENT OF RIGHTS.** The City Council of the City of North Las Vegas has been informed by the City Attorney as to the constitutionality of this ordinance and based upon such information we are adopting this ordinance in good faith with a reasonable belief that the actions taken by the City of North Las Vegas are not in violation of any rights, privileges, or immunities secured by the laws providing for equal rights of citizens or persons.

**SECTION 4: SEVERABILITY.** If any section, paragraph, clause or provision of this Ordinance shall for any reason be held to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall in no way affect the validity and enforceability of the remaining provisions of this Ordinance.

**SECTION 5: EFFECTIVE DATE.** This Ordinance shall become effective after its passage by the City Council of the City of North Las Vegas and, after such passage by the City Council, publication once by title in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

**SECTION 6: PUBLICATION.** The City Clerk shall cause this Ordinance, immediately following its adoption, to be published once by title, together with the names of the Councilmen voting for or against passage, in a newspaper qualified pursuant to the provisions of Chapter 238 of NRS, as amended from time to time.

PASSED AND ADOPTED THIS 5th day of May, 2021.

AYES: Mayor Lee, Mayor Pro Tempore Barron, Council Members Black, Cherchio, and Goynes-Brown

NAYS: None

ABSTAIN: None

ABSENT: None

APPROVED:

  
\_\_\_\_\_  
JOHN J. LEE, MAYOR

ATTEST:

  
\_\_\_\_\_  
CATHERINE A. RAYNOR, MMC, CITY CLERK

## CITY OF NORTH LAS VEGAS INTEROFFICE MEMORANDUM

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To: Amy Michaels, Principal Planner, Land Development & Community Services  
From: Duane McNelly, Land Development Coordinator, Department of Public Works  
Subject: FDP 09-2021 **Noble Peak**  
Date: August 09, 2021

The Department of Public Works recommends that this item comply with the conditions of approval for ZN 03-21 as well as the following conditions stated below:

1. Appropriate subdivision mapping is required to complete this project. All mapping shall be in compliance with NRS Chapter 278 and the City of North Las Vegas Municipal Code, and associated Master Plans in effect at the time of subdivision and/or parcel map approval. (The final map has been submitted.)
2. All common elements shall be labeled and are to be maintained by the Home Owners Association.



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Duane McNelly, Land Development Coordinator  
Department of Public Works

**CITY OF NORTH LAS VEGAS PLANNING COMMISSION AND CITY  
COUNCIL RECOMMENDATIONS / COMMENTS**

**FROM: CLARK COUNTY DEPARTMENT OF AVIATION**

**APPLICATION: FDP-000009-2021**

**PROJECT: NOBLE PEAK, 70 MFU**

**LOCATION: 139-04-201-021**

**MEETING DATE: SEPTEMBER 8, 2021, PLANNING COMMISSION AND  
CORRESPONDING OCTOBER 6, 2021, CITY COUNCIL  
MEETINGS**

**COMMENTS:**

The proposed development lies just outside the AE-60 (60-65 DNL) noise contour for North Las Vegas Airport (VGT), and is subject to significant aircraft noise and continuing over-flights. Future demand for air travel and airport operations is expected to increase significantly. Clark County intends to continue to upgrade VGT to meet future air traffic demand, and nighttime operations may and will continue to occur at VGT.

Applicant is advised that issuing a stand-alone noise disclosure statement to the purchaser or renter of each unit in the proposed development and to forward the completed and recorded noise disclosure statements to the Department of Aviation's Noise Office is strongly encouraged. Additionally, the Federal Aviation Administration will no longer approve remedial noise mitigation measures for incompatible development impacted by aircraft operations which was constructed after October 1, 1998, and funds will not be available in the future should the residents wish to have their buildings purchased or soundproofed.

RAH2018

June 19, 2021

City of North Las Vegas  
Current Planning Department Staff  
2250 Las Vegas Boulevard North  
North Las Vegas, NV 89032

**Re: Noble Peak – Final Development Plan  
Letter of Intent  
(APN: 139-04-201-021)**

Westwood Professional Services on behalf of our client, Richmond American Homes of Nevada, Inc., respectfully submits this letter of intent with an application for the Final Development Plan for the subject community.

### **Project Description**

The proposed development is a single-family attached residential community located near the northeast corner of the Craig Road and Clayton Street intersection, adjacent to Scott Robinson Blvd. The parcel is Lot 2 on the recorded Parcel Map 126-50, Assessor's Parcel Number 139-04-201-021. The parcel is ~6.5 acres with 70 lots, resulting in a density of ~10.8 du/ac. The community has an approved PUD (ZN-03-2021) which amended existing ordinance 3070.

Please find the enclosed Site Plan along with the Landscape Plan that details the proposed amenities for the Final Development Plan. Also enclosed are the Elevations for the architecture that will be used in this community. The homes will only be attached on one side which provides space for a private enclosed side yard on the other side of each property. This side yard will include its own private enclosed courtyard. There are two models which range in size from 1,510-1,520 SF. All homes will also include a porch in the front. The front of the homes will be articulated with stone veneer and other architectural enhancements.

The site plan included with the application shows the general layout of the project and the single access proposed from Scott Robinson Blvd. A secondary fire access will be provided. A typical lot width is ~25.8ft and all lots are larger than 2,000sqft. The proposed building setbacks which will be met for each lot are listed on the included site plan and below.

**Setbacks**

Front – 12'  
Porch – 10'  
Side Yard – Building (Interior) – 5'  
Side Yard – Building (Corner) – 5'  
Attached Building to Building – 0' and 4'  
Rear – Garage – 4'  
Rear – Living – 4'

**Open Space**

The interior open space provided exceeds 500/SF per lot. A single large centrally located common element is proposed containing 75% of the required interior open space. This central common element will include neighborhood park amenities. The remaining required interior open space will be distributed throughout the project. Additional landscaping is provided inside the community and along the perimeter but is not counted towards the total interior open space being provided. The pedestrian corridor in the middle of the site will have a landscape easement over the space between the porches for the Home Owners Association to maintain the landscape in this area. Finally, the single family homes are separated by ~42ft feet from front door to front door.

**Benefits to the Neighborhood**

This project helps meet the demand for pedestrian friendly residential neighborhoods that target first time home buyers. These homes will bring additional population to area that will utilize the surrounding commercial centers while reducing the vacant lots.

**Construction Timeline**

The entitlements were completed May of 2021 and the technical studies/design plans/final map will be finished in the 4th quarter of 2021. Grading is expected to start in September 2021 and offsite construction should be complete towards the end of 2022.

Please contact our office at 702-284-5300 if you have any questions or require additional information. Thank you for your consideration of this project.

Sincerely,  
**WESTWOOD PROFESSIONAL SERVICES**



Emily Hoy, P.E.  
Assistant Project Manager

CC:  
Angela Pinley, Richmond American Homes of Nevada, Inc.  
Jon Poll, Westwood  
Roxanne Leigh, Westwood

















REVISED  
8/09/2021

LANDSCAPE ARCHITECTURE:

## SUNSTATE STUDIOS

LANDSCAPE ARCHITECTURE  
& LAND PLANNING

93101 E. Craig Rd., N. Las Vegas, NV 89030  
702-798-1776  
www.sunstatestudios.com



PROJECT:

**Noble Peak**  
Scott Robinson Blvd & Craig Rd  
N. Las Vegas, NV 89031

DEVELOPER:

**Richmond American Homes**  
7770 S. Dean Martin Drive, Suite 308  
Las Vegas, NV 89139

SHEET INDEX:

SHEET NO.	DRAWING NO.	SHEET TITLE
1	LA-0	Cover Sheet
2	LA-1	Overall Plan
3	LA-2	Construction Plan
4	LA-3	Construction Details
5	LA-4	Construction Details
6	LA-5	Construction Legend & Notes
7	LA-6	Planting Plan
8	LA-7	Planting Legend, Notes & Details
9	LA-8	Planting Legend, Notes & Details
10	LA-9	Overall Irrigation Plan
11	LA-10	Irrigation Plan
12	LA-11	Irrigation Plan
13	LA-12	Irrigation Legend & Notes
14	LA-13	Irrigation Details



N.T.S.

Scale:	N.T.S.
Date drawn:	07-02-2021
Drawn by:	JJ
Designed by:	TTJ
Approved by:	TT
Project #:	800755

SHEET TITLE  
**Cover Sheet**

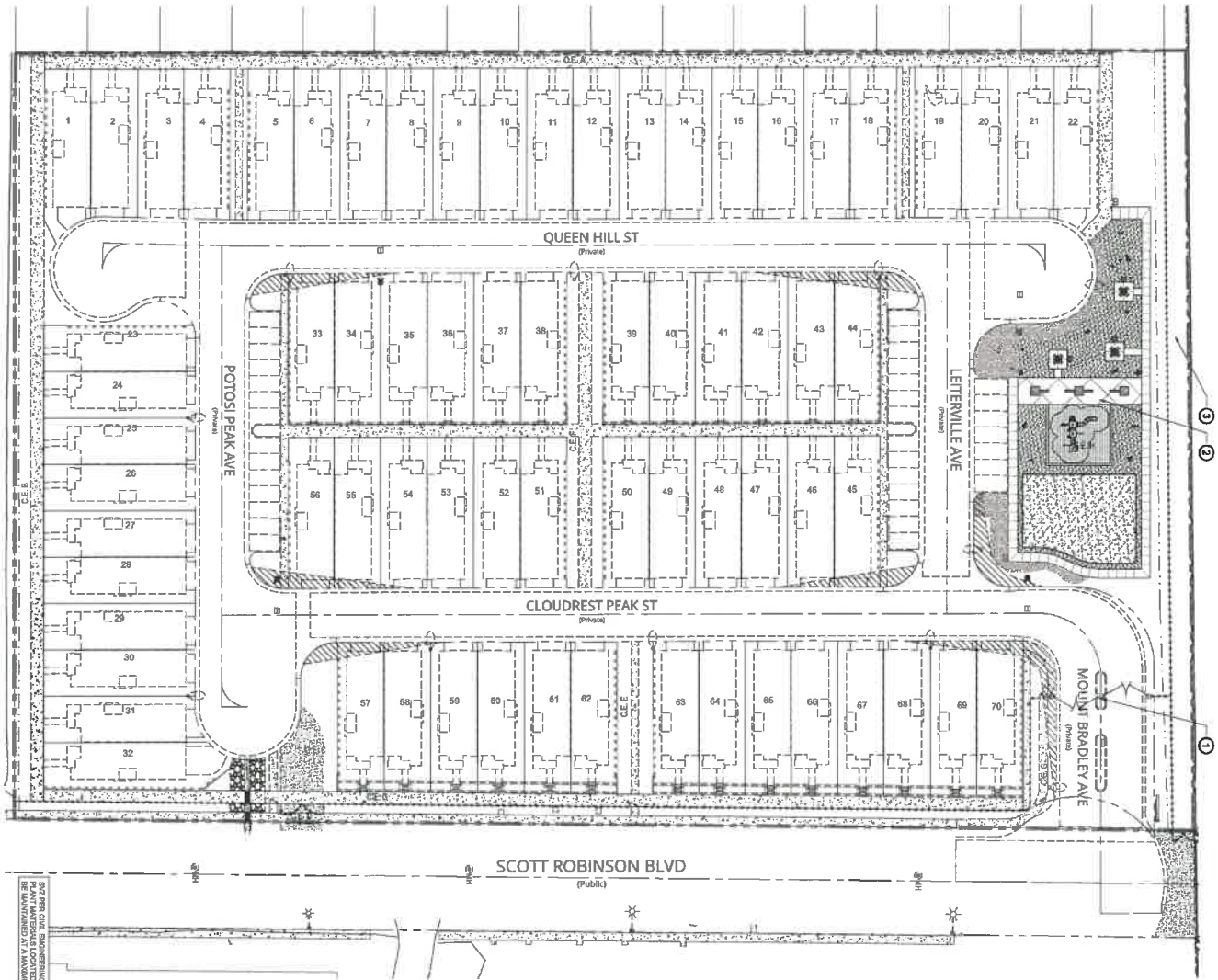
REVISIONS	
No.	Date
07-16-2021	100% REVIEW
08-03-2021	100%

PROJECT NAME  
**Noble Peak**  
Streetscape & Common Area  
**Richmond American**  
7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139



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- LEGEND**
- ① COMMUNITY ENTRANCE
  - ② COMMUNITY PARK WITH SCODD OPEN SPACE AND PLAY STRUCTURE
  - ③ 12 ACCESS EASEMENT PER CIVIL PLAN

**REVISED**  
8/09/2021

PLAN SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF 3'.



**Scale: 1"=30'-0"**

0 30' 60'

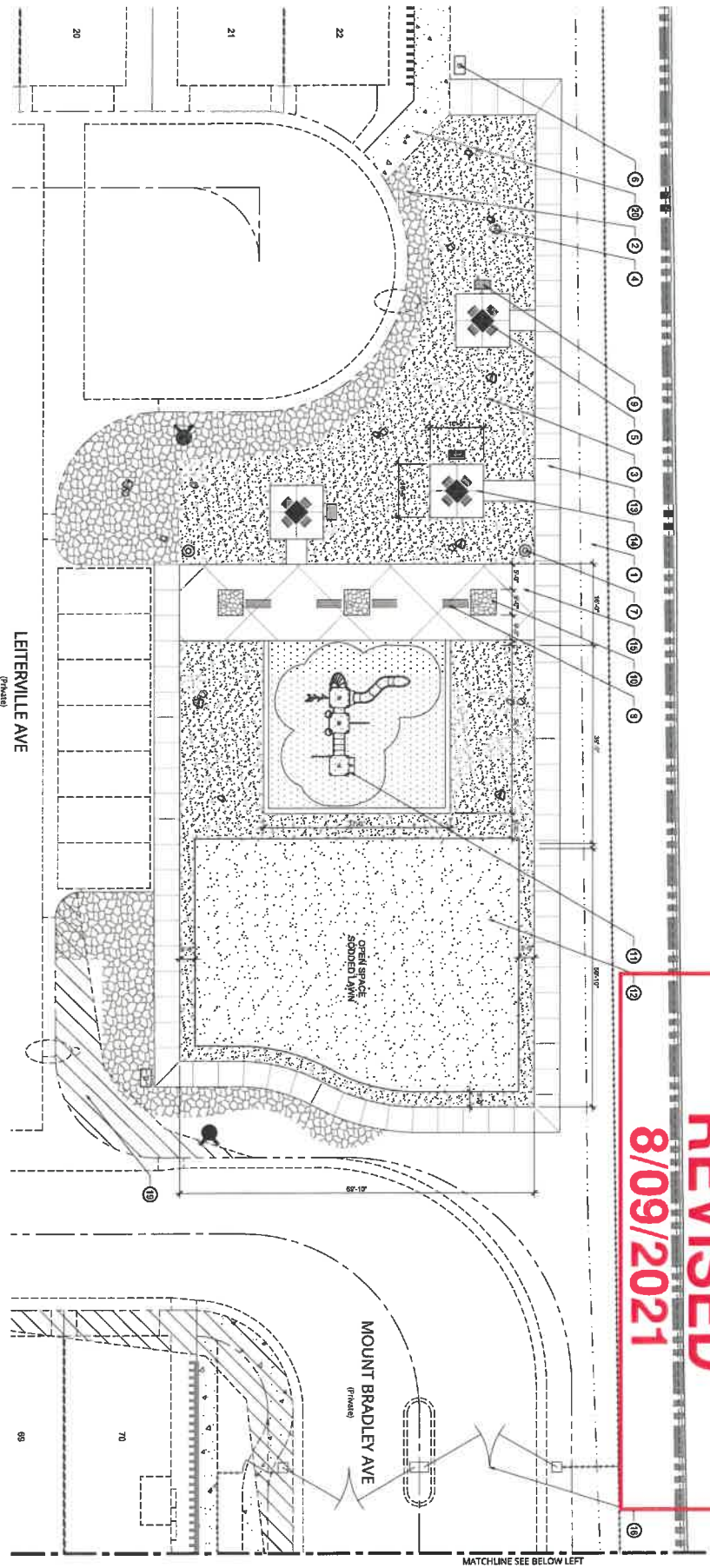
**NORTH**

Sheet No. <b>02</b>	Scale: 1"=30'-0"	Date drawn: 07-02-2021	Drawing No. <b>LA-1</b>	SHEET TITLE  <b>Overall Plan</b>	REVISIONS		PROJECT NAME  <b>Noble Peak Streetscape &amp; Common Area Richmond American</b>  7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139
					No.	Date	
					1	07-16-2021	
					2	08-03-2021	



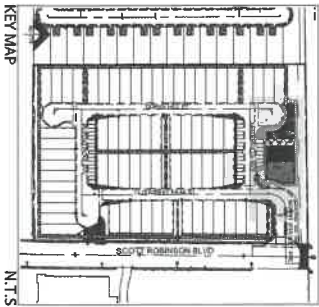
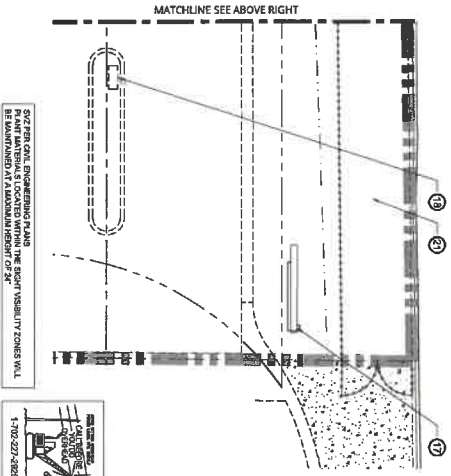
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702.796.1771  
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**REVISED**  
8/09/2021



**KEYNOTES**

- |    |  |      |    |    |  |      |   |
|----|--|------|----|----|--|------|---|
| 1  | 3/4" ROCK MULCH THROUGHOUT                       | LA-3 | 3  | 16 | 5" CONCRETE SIDEWALK                                 | LA-3 | 5 |
| 2  | 2'-4" DECORATIVE LANDSCAPE ROCK                  | LA-3 | 3  | 16 | CONCRETE PAD   | LA-3 | 2 |
| 3  | VISTA GOLD OR EQ.                                | LA-3 | 13 | 16 | CONCRETE PAVING - MEDIUM BROOM FINISH                | LA-3 | 1 |
| 4  | 3/8" MINUS GRAVEL PAVED WITH 6" CONCRETE BANDING | LA-3 | 6  | 17 | ENTRY MONUMENT SIGN                                  |      |   |
| 5  | 2x2 GRANITE BOULDER                              | LA-3 | 9  | 19 | CALL BOX   |      |   |
| 6  | AUBURN BROWN                                     | LA-3 | 11 | 19 | RIGHT VISIBILITY ZONE (S/2) PER CIVIL ENGINEER PLANS |      |   |
| 7  | PICNIC TABLE                                     | LA-3 | 12 | 20 | CONCRETE SIDEWALK PER CIVIL ENGINEER PLANS           |      |   |
| 8  | PET WASTE STATION                                | LA-3 | 13 | 20 | 12' ACCESS EASEMENT PER CIVIL PLAN                   |      |   |
| 9  | TWASH RECEPTACLE                                 | LA-3 | 14 | 20 |  |      |   |
| 10 | PARK BENCH                                       | LA-3 | 15 | 20 |  |      |   |
| 11 | PEDESTAL GRILL                                   | LA-3 | 16 | 20 |  |      |   |
| 12 | IN-GROUND CONCRETE PLANTER                       | LA-3 | 17 | 20 |  |      |   |
| 13 | EXERCISE PLAY STRUCTURE ON                       | LA-4 | 18 | 20 |  |      |   |
| 14 | SAFETY SURFACING                                 | LA-4 | 19 | 20 |  |      |   |
| 15 | SCOOBED LAWN WITH                                | LA-3 | 20 | 20 |  |      |   |
| 16 | 4" STEEL EDGING                                  | LA-3 | 21 | 20 |  |      |   |



Sheet No.	03
Scale	1"=10'-0"
Date drawn	07-02-2021
Drawn by	JJ
Designed by	TT/BJ
Approved by	TT
Project #	800735

**Construction Plan**

REVISIONS	
No	Date Description
1	07-16-2021 100% REVIEW
2	08-03-2021 100%

**PROJECT NAME**  
**Noble Peak**  
Streetscape & Common Area  
**Richmond American**  
7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139



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**REVISED**  
**8/09/2021**



**PICNIC TABLE**  
SCALE: N.T.S.



PEDESTAL GRILL  
SCALE: N.T.S.



**PET WASTE STATION**  
SCALE: N.T.S.



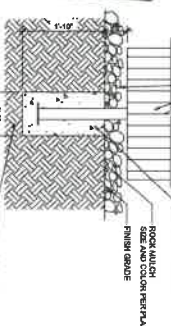
1'-0"

80% COMPACTED  
SUBGRADE (TYP)

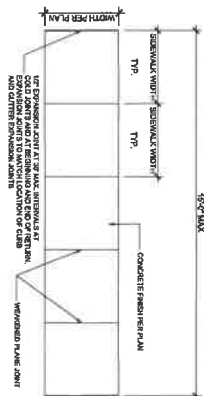
ROUND PERFORATED STEEL LITTER RECEPTACLE, IN-GROUND MOUNT

SKU: MCP932LR-MCPSLRIG-GRN, COLOR: GREEN

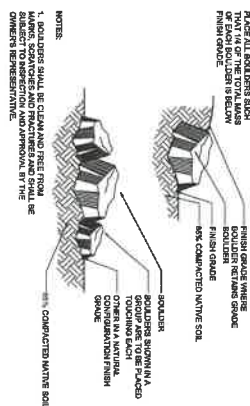
AVAILABLE AT <http://www.kaypark.com>



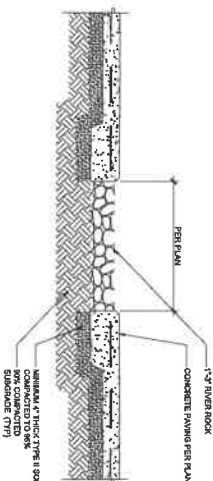
TRASH RECEPTACLE  
SCALE: N.T.S. 12



CONCRETE SIDEWALK  
SCALE: 1/2"=1'-0"



GRANITE BOULDER  
SCALE: 3/8" = 1'-0"

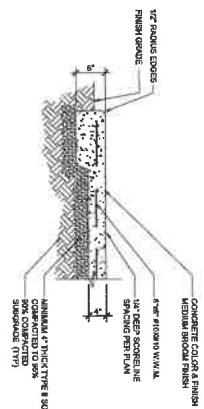


IN-GROUND CONCRETE PLANTER  
SCALE: N.T.S.

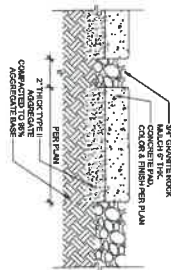


4" MODERN BENCH WITH BACK AND U-LEGS, THERMOPLASTIC COATING  
SKU: MCHD4PSSMGRN, COLOR: GREEN  
AVAILABLE AT <http://www.klaypark.com>

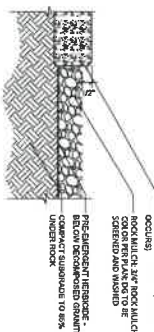
**PARK BENCH**  
SCALE: 1/4" = 1'-0"



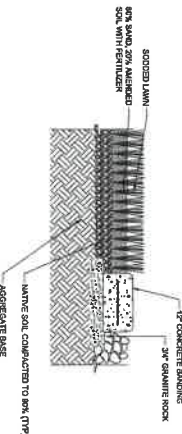
CONCRETE PAVING  
SCALE: 1"=1'-0"



CONCRETE PAD  
SCALE: 1"=1'-0"



ROCK MULCH  
SCALE: 3/8"=1'-0"



**SODDED LAWN WITH 12" CONCRETE BANDING**  
SCALE: 1"=1'-0"

PROJECT NAME  
**Noble Peak**  
Streetscape & Common Area  
**Richmond American**  
7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139

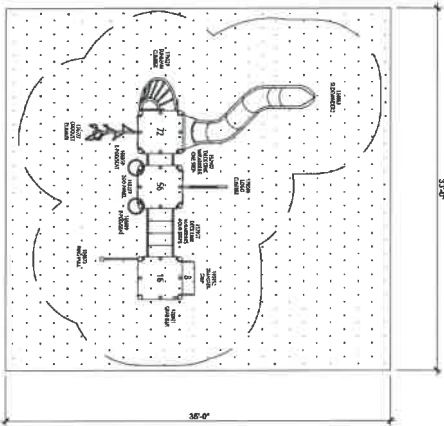


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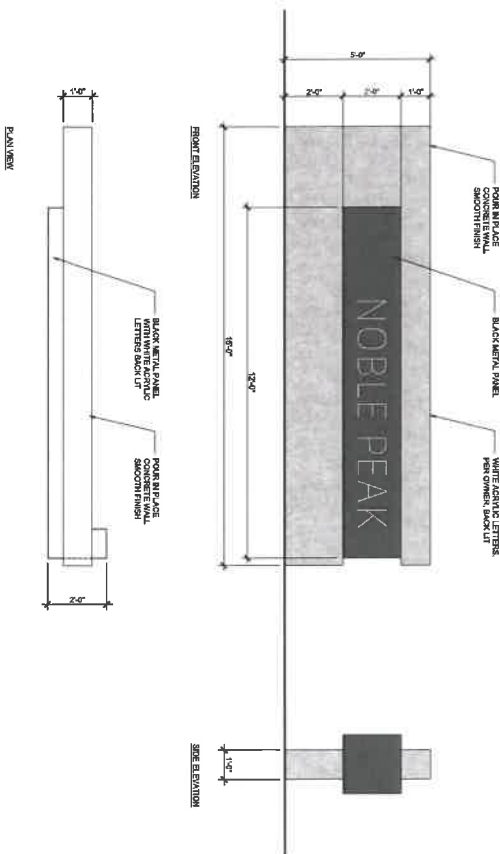
SHEET TITLE

# Construction Details

Sheet No. <b>04</b>	Scale:	n.t.s.
	Date drawn:	07-02-2021
	Drawn by:	JJ
	Designed by:	TT/JJ
	Approved by:	TT
	Project #:	800755

[illegible]

EXERPLAY PLAYBOOSTER  
DESIGN NO. 3725  
AVAILABLE AT <https://www.exerplay.com>



05	Sheet No.	Scale:	n.t.s.
	Drawing No.	Date drawn:	07-02-2021
		Drawn by:	JJ
		Designed by:	TT/JJ
		Approved by:	TT
LA-4	Project #:	800755	

[illegible]

PROJECT NAME  
**Noble Peak**  
Streetscape & Common Area  
**Richmond American**  
7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139



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## GENERAL LANDSCAPE CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE, AND SHALL REPAIR AT HIS COST ANY DAMAGE RESULTING FROM HIS OPERATIONS. CONTRACTORS ON THE JOB SHALL CARRY THE FOLLOWING INSURANCE: (1) WORKER'S COMPENSATION, (2) PUBLIC COMPREHENSIVE GENERAL LIABILITY, AND (3) PROPERTY DAMAGE. IN AN EMERGENCY THREATENING THE LIFE, SAFETY, OR ADJACENT WORK, THE CONTRACTOR IS HEREBY INSTRUCTED TO ACT AT HIS DISCRETION TO PREVENT SUCH LOSS OR INJURY.
2. THE CONTRACTOR AGREES TO HOLD HARMLESS THE OWNER AND LANDSCAPE ARCHITECT FROM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF ANY OF HIS SUBCONTRACTORS, MATERIAL SUPPLIERS OR AGENTS.
3. DIMENSIONS ARE BASED ON PRELIMINARY MEASUREMENTS. CONTRACTOR TO VERIFY FIELD CONDITIONS AND MAKE ADJUSTMENTS IN ACCORDANCE WITH DESIGN INTENT. CONTRACTORS BID SHALL REFLECT COST OF INSTALLATION OF MATERIALS AS SHOWN IN DRAWINGS. ALTERNATE MATERIALS TO BE SPECIFIED IN SEPARATE BID OPTION.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE INSTALLATION OF ELECTRICAL, PLUMBING, IRRIGATION, CONCRETE, MASONRY, AND LANDSCAPE MATERIAL FROM CITY OF LAS VEGAS BUILDING AND SAFETY DEPARTMENT, LV BAS (702) 229-8251.
5. ALL LOCAL, MUNICIPAL, STATE AND FEDERAL LAWS, RULES, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN CODES AND THE INFORMATION AND DESIGNS PRESENTED IN THESE DRAWINGS.
6. CONTRACTOR SHALL SUPPLY OWNER AND LANDSCAPE ARCHITECT ONE COPY OF SOILS REPORT AND FERTILIZATION RECOMMENDATIONS FOR REVIEW.
7. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF THE APPROPRIATE ARCHITECTURAL, ELECTRICAL, AND CIVIL ENGINEERING PLANS PRIOR TO BEGINNING WORK.
8. PRIOR TO THE START OF ANY WORK, A MEETING SHALL BE HELD WITH THE OWNER, LANDSCAPE ARCHITECT AND CONTRACTOR TO DISCUSS PROJECT PLANS AND SITE CONDITIONS.
9. THIS DOCUMENT SET, INCLUDING ALL PLAN SHEETS, NOTES, DETAILS AND SPECIFICATIONS SHALL BE UTILIZED BY THE CONTRACTOR PERFORMING INSTALLATION AS GENERAL GUIDELINES FOR THE PROJECT DESIGN INTENT. QUANTITIES SHOWN IN THIS DOCUMENT SET ARE ESTIMATES ONLY AND ARE NOT THEREFORE GUARANTEED. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER COMPLETE PROJECT AS SPECIFIED IN THESE DOCUMENTS.
10. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND WILL BE RESPONSIBLE FOR SCHEDULING AND ATTENDING ALL LV BAS INSPECTIONS ON BEHALF OF OWNER.
11. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WHICH OCCUR BETWEEN THE EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS, SO THEY MAY BE CORRECTED PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.
13. THE CONTRACTOR SHALL WARRANT ALL WORK AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR 90 DAYS FROM DATE OF FINAL APPROVAL. UNLESS OTHERWISE NOTED, THE CONTRACTOR AGREES TO REPLACE ANY DEFECTIVE MATERIAL AND/OR WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER.
14. EXISTING SITE CONDITIONS AND THE DOCUMENT SET BASE INFORMATION HAVE BEEN PROVIDED BY THE PROJECT CIVIL ENGINEER. SEE CIVIL ENGINEERING DRAWINGS FOR ALL ROUGH GRADING AND DRAINAGE. SPOT ELEVATIONS ARE RELATIVE TO ADJACENT FINISHED GRADE AND SHOWN FOR REFERENCE ONLY. FIELD VERIFICATION OF ACTUAL ELEVATIONS MAY AFFECT INSTALLATION OF PLANTWORK AND MASONRY.
15. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING LIGHT POLES AND UNDERGROUND UTILITIES.
16. OWNER SHALL APPROVE ALL MATERIALS PRIOR TO ORDERING. SUBMIT FINISH SAMPLES OF PLANTWORK FOR OWNER APPROVAL PRIOR TO ORDERING.
17. CONTRACTOR SHALL SHIELD EXISTING WORK WITH VISQUEEN TO PREVENT SPLATTERING OF CONCRETE OR MORTAR.
18. ALL WRITTEN DIMENSIONS ON PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

## CONCRETE NOTES

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2,500 PSI. CEMENT SHALL BE TYPE 1. FINISH MEDIUM BROOM FINISH AND COLOR SHALL BE NATURAL GREY UNLESS OTHERWISE NOTED.
2. PROVIDE 12" SQUARE SAMPLE POUR FOR APPROVAL PRIOR TO INSTALLATION.
3. REINFORCING SHALL COMPLY WITH ASTM A615, GRADE 40.
4. CONTRACTOR SHALL INSTALL FULL-DEPTH EXPANSION JOINTS AND SCORE JOINTS AS SHOWN ON PLANS AND DETAILS, AND ADD ADDITIONAL JOINTS WHERE NECESSARY TO CONTROL CONCRETE CRACKING.
5. ALL CONCRETE SLABS SHALL HAVE A MINIMUM 4" TYPE II LAYER SUBGRADE AND WIRE MESH PER CONSTRUCTION DETAILS.
6. ALL EXPANSION JOINTS SHALL NOT EXCEED 1/2" WIDE AND SHALL BE SEALED WITH DECK O MASTIC SEAL.
7. CONTRACTOR SHALL PROVIDE SCORE MARKS IN CONCRETE WALKS EQUAL TO WIDTH OF WALKS (E. 3/8" O.C. IN 36" WIDE WALK). SCORE MARKS SHALL NOT BE LESS THAN 3/8" O.C. OR MORE THAN 9/16" O.C. PROVIDE QUICK JOINTS AT 9'-0" O.C. FOR 3'-0" WIDE WALKS, 12'-0" O.C. FOR 4'-0" WIDE WALKS AND 15'-0" O.C. FOR 5'-0" WIDE WALKS.
8. **MASONRY NOTES**  
ALL STUCCO WALLS SHALL BE WATER SEALED WITHIN 30 DAYS OF STUCCO COLOR. ALL STUCCO SHALL MATCH ARCHITECTURE IN FINISH, EXCEPT AS NOTED.
9. ALL RETAINING WALLS SHALL BE PLANTABLE
10. **PAVER NOTES**  
REFER TO CIVIL PLANS FOR INSTALLATION OF ASPHALT SUBBASE IN STREET AND CUL-DE-SAC.
11. ADD 1" WASHED CONCRETE SAND OVER TOP OF TYPE II BASE. DO NOT COMPACT SAND. SAND IS TO BE SCREENED ON NOT COMPACTED. FOR CURING, USE A 1" ROUND PVC PIPE ON EACH SIDE OF STREET AS A GUIDE. USE ANOTHER PVC PIPE TO LEVEL THE SAND BY DRAGGING IT ACROSS THE PVC GUIDE PIPES.
12. SET PAVERS BY HAND.
13. AFTER THE PAVERS HAVE BEEN SET, USE A TAPPER TO FORCE THE SAND THROUGH THE CRACKS BETWEEN THE PAVERS. THIS WILL HELP TO LOCK THE PAVERS INTO PLACE.
14. SWEEP EXCESS SAND INTO JOINTS.
15. REPEAT TAPPER AND SWEEPING PROCESS.

## HARDSCAPE NOTES

1. INSTALLER SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LA OR OWNER REP. INSTALLER SHALL CONTACT LA & OWNER REP SHOULD ANY DISCREPANCIES EXIST. INSTALLER SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION AND RECEIVE TRANSMITTED RECORD OF APPROVAL FROM OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE DOCUMENTS SUBMITTED BY THE CE. INSTALLER SHALL CONTACT THE LA & OWNER REP SHOULD ANY DISCREPANCIES OCCUR. LA & OWNER REP SHALL SUBMIT IN WRITING SUGGESTED MODIFICATION & RECEIVE TRANSMITTED RECORD OF APPROVAL FROM LA & OWNER REP PRIOR TO COMMENCEMENT OF ANY FIELD REVISIONS.
3. REFER TO CONSTRUCTION DOCUMENTS PREPARED BY THE CE FOR ALL INFORMATION REGARDING HORIZONTAL & VERTICAL CONTROL DIMENSIONS.
4. INSTALLER SHALL BE RESPONSIBLE TO HAVE ALL STRUCTURES REPRESENTED IN THE CD SET & REVIEWED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED (U.N.O.).
5. FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
6. INSTALLER SHALL HAVE SIDEWALKS SURVEYED AND STAKED FOR REVIEW BY LA PRIOR TO INSTALLATION. INSTALLER SHALL NOTIFY LANDSCAPE ARCHITECT WITHIN 48 HOURS IN ADVANCE FOR SITE REVIEW.
7. UNLESS OTHERWISE NOTED (U.N.O.) IN CD SET OR NOTED IN DETAILS, SIDEWALKS SHALL BE 8'-0" IN WIDTH & THICK W/ 2500 PSI CONCRETE ON COMPACTED BASE PER SITE SOILS REPORT W/ CONSTRUCTION JOINTS AT 5'-0" ON CENTER & EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH PERPENDICULAR TO DIRECTION OF TRAVEL WITH 1/2" RADIUS TOOLED EDGES.
8. RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" TYPICAL (TYP.) U.N.O.
9. INSTALLER SHALL PREPARE A 1/4"X4" SAMPLE PANEL FOR EACH TYPE OF HARDSCAPE MATERIAL AS SPECIFIED IN CD SET FOR APPROVAL BY THE LA & OWNER REP PRIOR TO CONSTRUCTION.
10. INSTALLER IS RESPONSIBLE FOR IMMEDIATE REMOVAL OF STAINS AND SPILLS ON FINISHED HARDSCAPE.
11. INSTALLER FOR PROTECTION OF FINISHED WORK UNTIL PROJECT ACCEPTANCE BY OWNER REP

## COLOR & SITE FURNISHING

SYMBOL	ITEM	DESCRIPTION	MANUFACTURER
1	PARK BENCH	4" WOODEN BENCH WITH BACK, GREEN	WWW.LAVANVACOM
2	DOG WASTE BINATION	DOG WASTE BINATION	WWW.DOGWASTEPRODUCT.COM
3	TODAY RECEPTACLE	DOG WASTE RECEPTACLE, GREEN	WWW.LAVANVACOM
4	PERFECT PAINT	PERFECT PAINT	WWW.INFORMATIONALDOCOM
5	FRONT TREE	48" SO. PREMIUM PINK GOLF, GREEN	WWW.LAVANVACOM
6	FRONT TREE	48" SQUARE PREMIUM PINK GOLF, GREEN	WWW.LAVANVACOM

## MATERIAL LEGEND

	3/4" GRANITE ROCK MTL CH -	1,500 SQFT
	2\"/>	4,455 SQFT
	3\"/>	3,222 SQFT
	4\"/>	1,155 SQFT
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REVISED  
8/09/2021

Sheet No.	06
Scale:	N.E.S.
Date drawn:	07-02-2021
Drawn by:	JJ
Designed by:	TTJ
Approved by:	TT
Project #:	800755
Drawing No.	LA-5

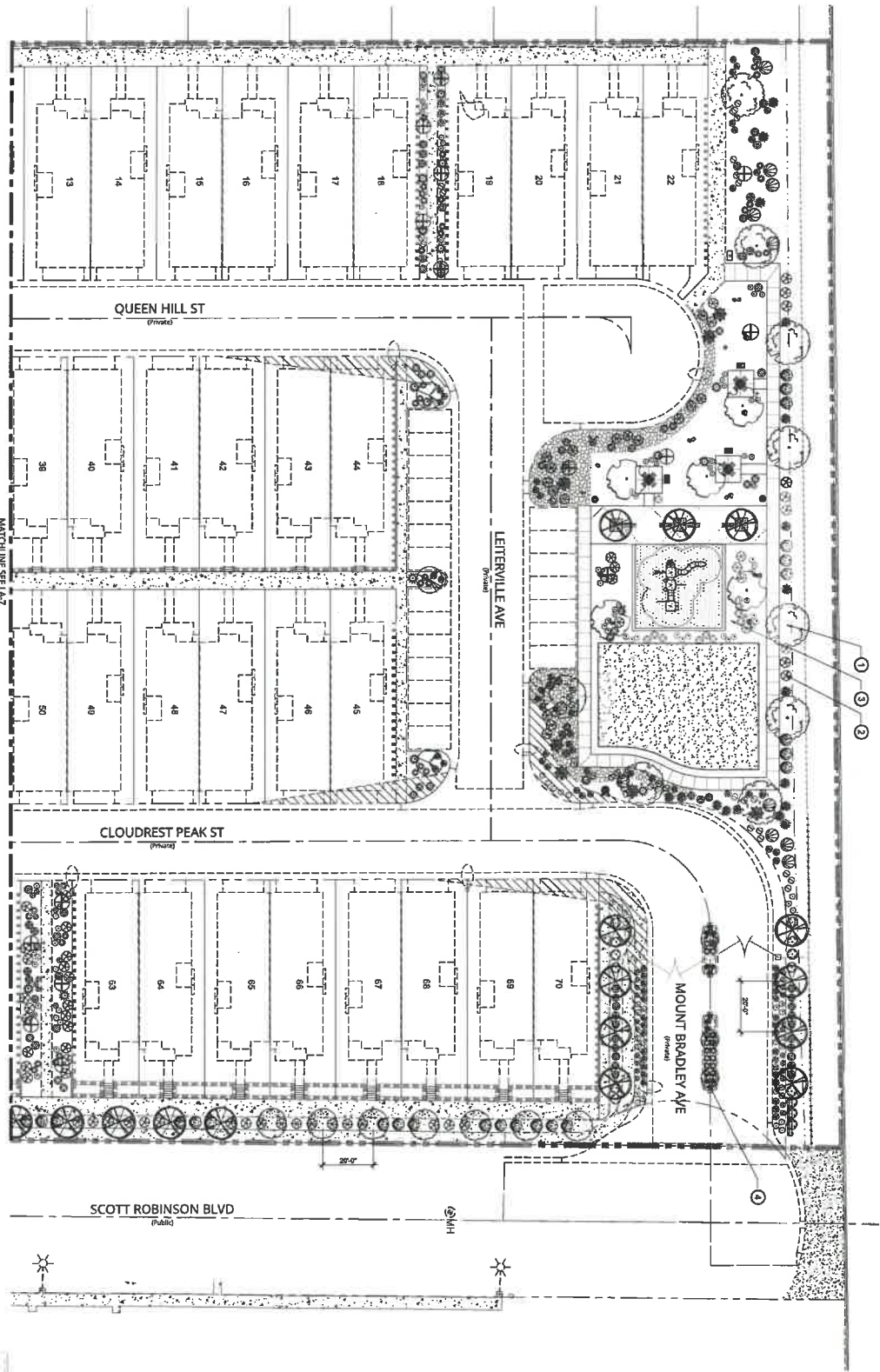
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	2	8-03-2021	100%

PROJECT NAME  
**Noble Peak**  
Streetscape & Common Area  
**Richmond American**  
7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139



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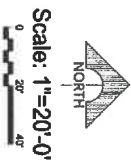
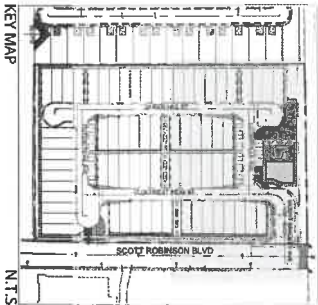
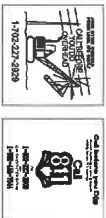


- KEYNOTES**
- ① TREE PLANTING
  - ② SHRUB PLANTING
  - ③ GROUNDCOVER PLANTING
  - ④ CACTUS/SUCCULENT PLANTING
  - ⑤ VAPOR BARRIER
  - ⑥ ROOT BARRIER

- LA-8 3
- LA-8 1
- LA-8 2
- LA-8 5
- LA-8 7
- LA-8 4

**REVISED**  
**8/09/2021**

ALL PLANT MATERIALS SHOWN ON THIS PLAN SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF 2'.



**SHEET TITLE**  
**Planting Plan**

REVISIONS	
No.	Date
1	07-16-2021 100% REVIEW
2	08-03-2021 100%

**PROJECT NAME**  
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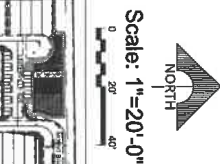
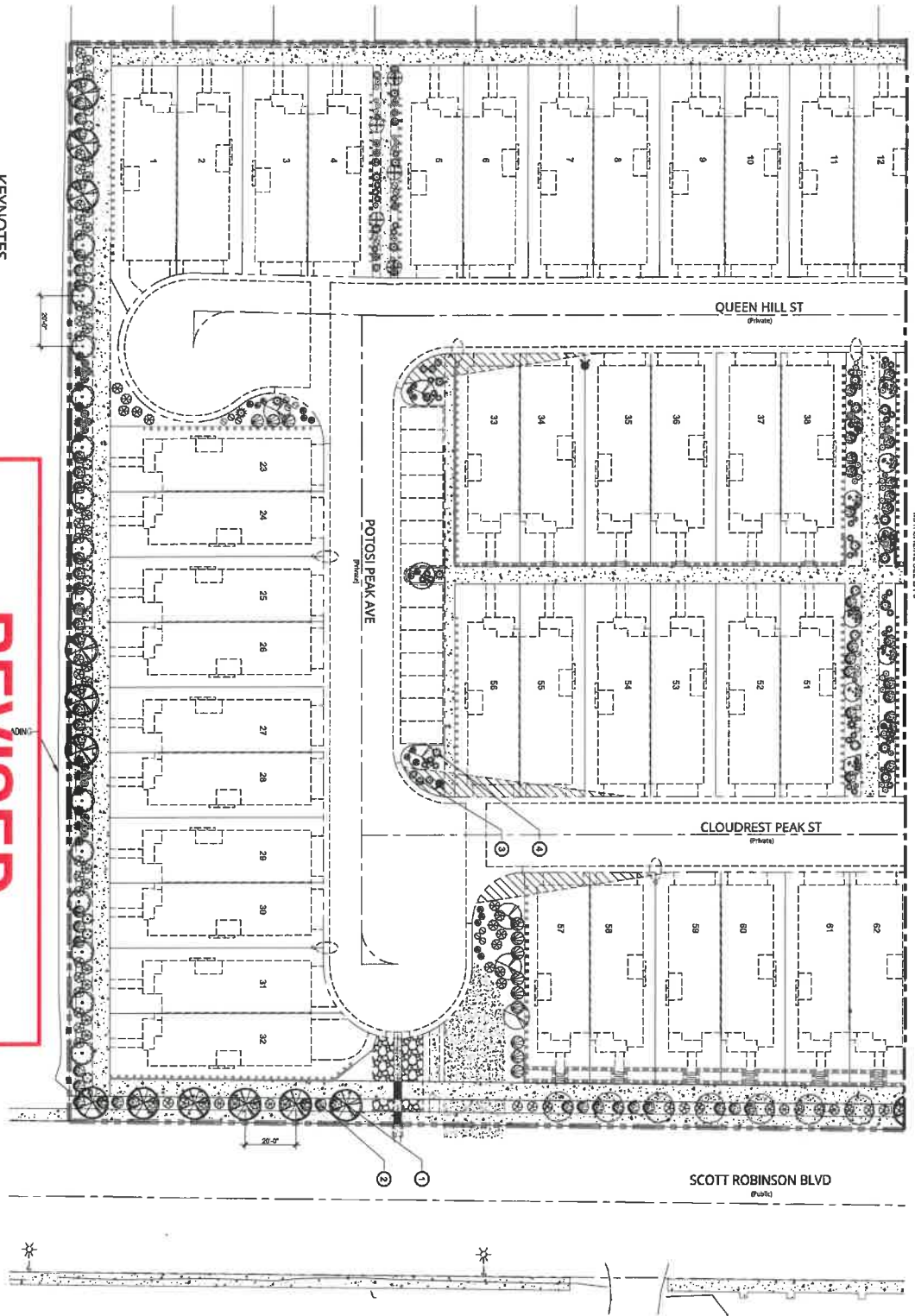
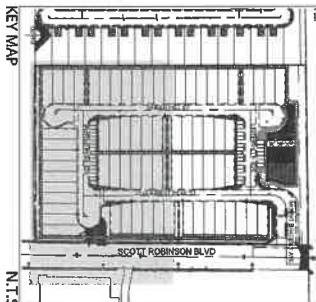
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Drawn by: JJ  
Designed by: TT/J  
Approved by: TT  
Project #: 800755

Sheet No.  
**07**  
Drawing No.  
**LA-6**

- KEYNOTES**
- ① TREE PLANTING LA-8 1
  - ② SHRUB PLANTING LA-8 1
  - ③ GROUNDCOVER PLANTING LA-8 2
  - ④ CACTUS/SUCCULENT PLANTING LA-8 5
  - ⑤ VAPOR BARBER LA-8 7
  - ⑥ ROOT BARRIER LA-8 4

**REVISED**  
8/09/2021

SIZE OF THE ENGINEERING PLANS THE SIGHT VISIBILITY ZONES SHALL BE MAINTAINED AT A MINIMUM HEIGHT OF 5'-0"



**Planting Plan**

REVISIONS	
No.	Date
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2	08-03-2021 100%

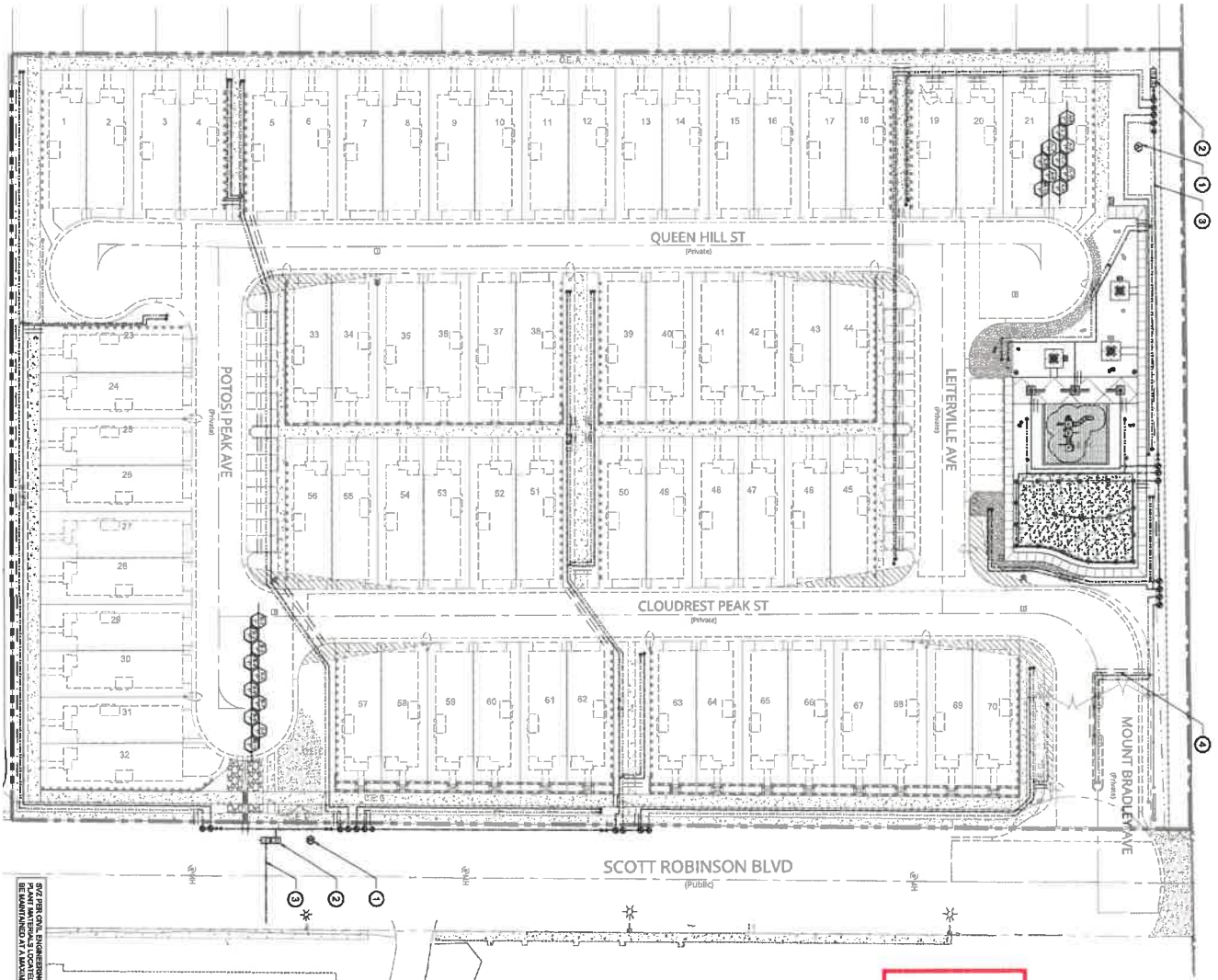
**PROJECT NAME**  
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SEE PER CIVIL ENGINEERING PLANS  
FOR MATERIALS LOCATED WITHIN THE SPOT VISIBILITY ZONED WALL  
MAINTAINED AT A MINIMUM HEIGHT OF 2'-0"



Scale: 1"=30'-0"  
0 30' 60'

**REVISED**  
8/09/2021

- KEYNOTES**
- ① IRRIGATION CONTROLLER
  - ② IRRIGATION METER & RPPA
  - ③ PER CIVIL PLAN
  - ④ IRRIGATION MAINLINE
  - ⑤ SLEEPING

Sheet No: 10  
Drawing No: LA-9  
Scale: 1"=30'-0"  
Date drawn: 07-02-2021  
Designed by: TT/g  
Approved by: TT  
Project #: 800795

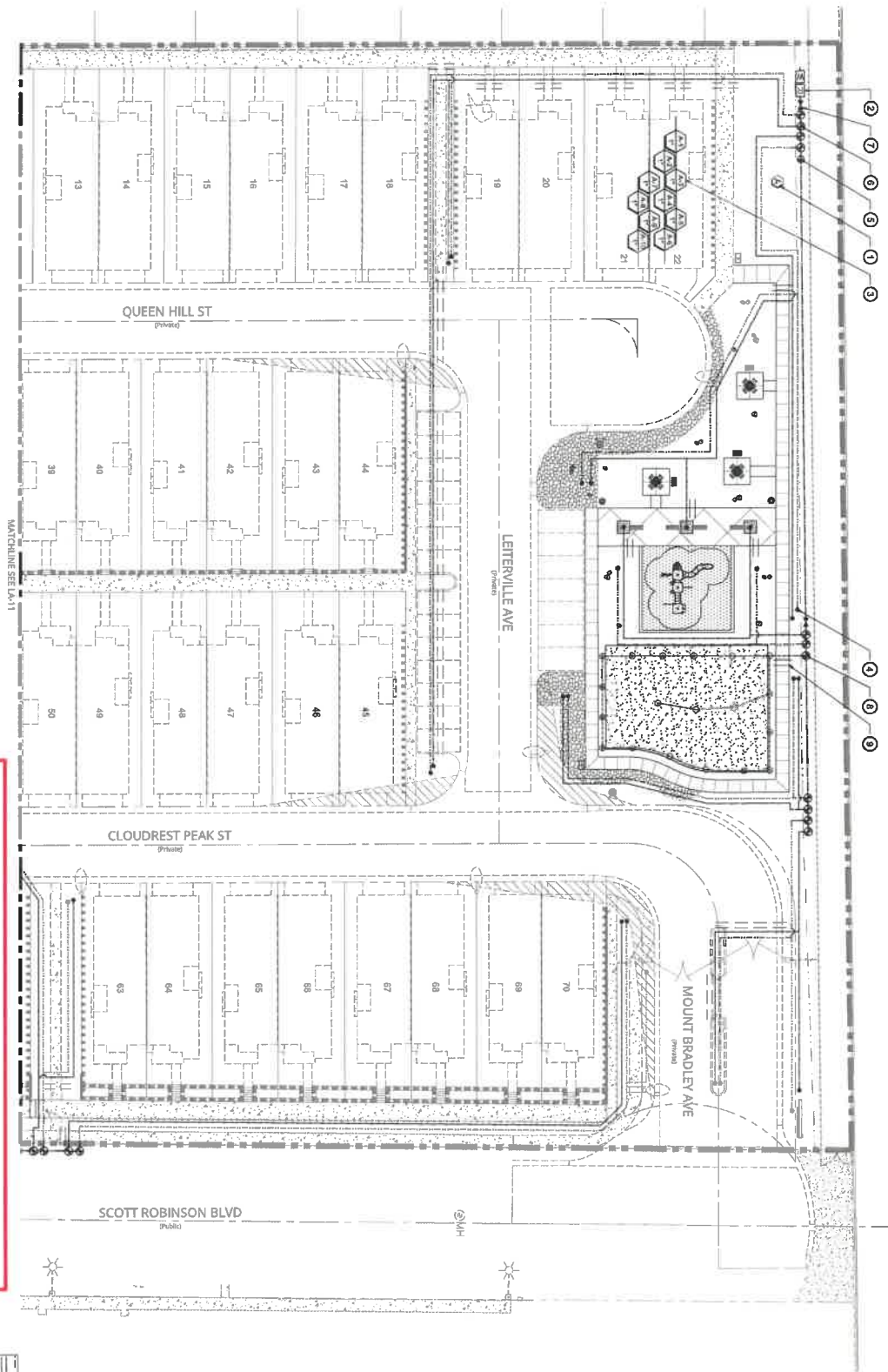
**SHEET TITLE**  
Overall  
Irrigation  
Plan

REVISIONS	
No	Description
07-16-2021	100% REVIEW
08-03-2021	100%

**PROJECT NAME**  
Noble Peak  
Streetscape & Common Area  
Richmond American  
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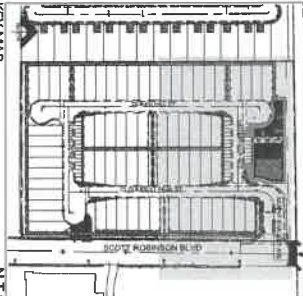
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- KEYNOTES**
- ① IRRIGATION CONTROLLER LA-13 1
  - ② IRRIGATION METER & RPPA LA-13 5
  - ③ PER CUL PLAN LA-13 16
  - ④ VALVE KEY LA-13 13
  - ⑤ FLUSH VALVE LA-13 3
  - ⑥ QUICK COUPLING VALVE LA-13 9
  - ⑦ DRP CONTROL ZONE LA-13 7
  - ⑧ BALL VALVE LA-13 5
  - ⑨ TURF VALVE LA-13 16
  - ⑩ SLEEVING UNDER STREETS PER CUL. PLANS. SLEEVING UNDER SIDEWALKS. PLANS. SLEEVING UNDER SIDEWALKS. EQUIPMENT IS SHOWN DIAGNOSTICALLY FOR CLARITY. LOCATE EQUIPMENT WITH PLANTING AREAS WHEREVER POSSIBLE.

REVISED  
8/09/2021

EXISTING CURB, SIDEWALKS & DRIVE  
PLANT MATERIALS & LOCATION WITHIN THE SHOWN VISIBILITY ZONES SHALL  
BE MAINTAINED AT A MINIMUM HEIGHT OF 2'6"



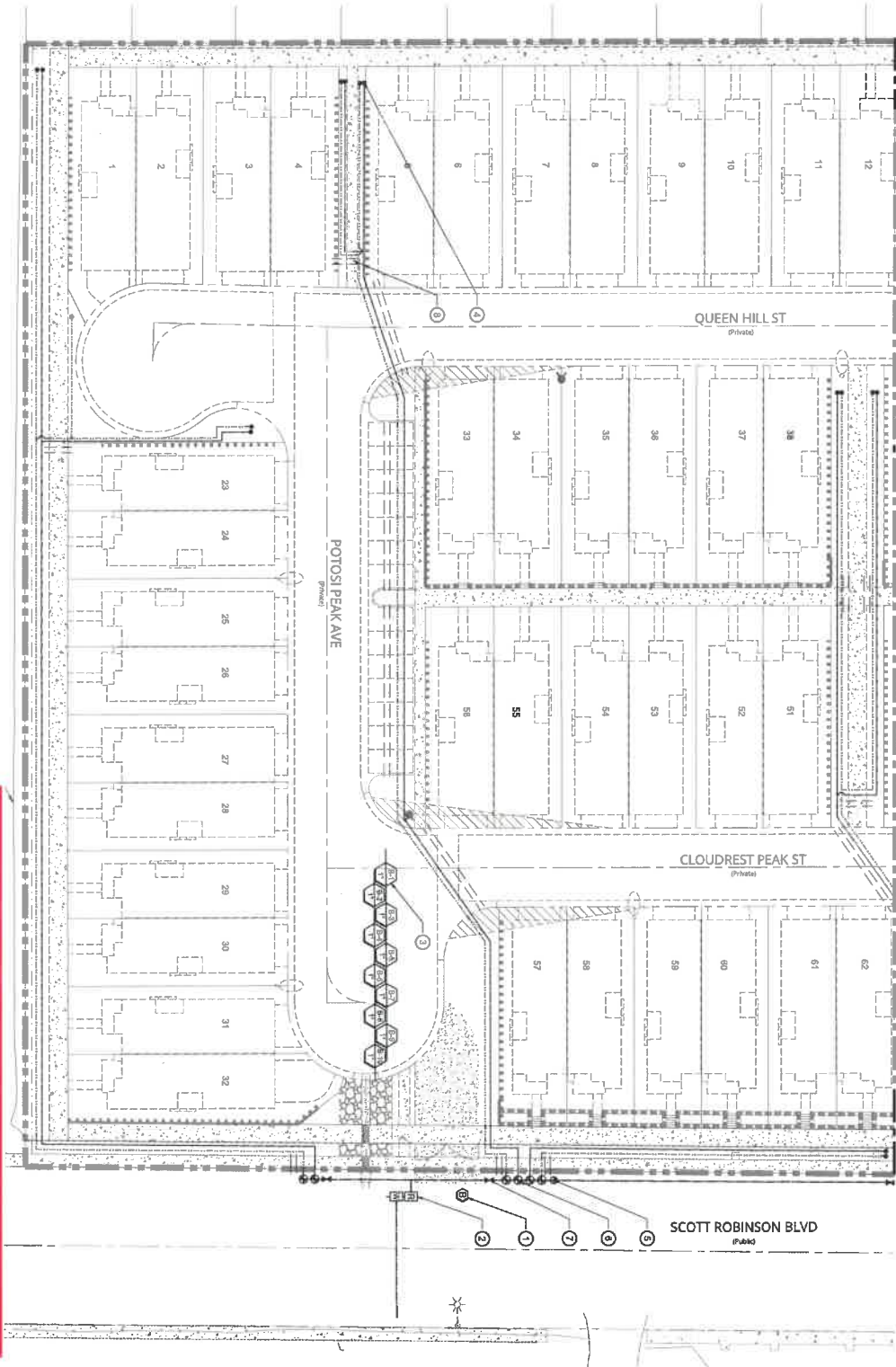
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Drawn by:	II
Designed by:	TTJ
Approved by:	TT
Project #:	800755
Drawing No.	LA-10

**SHEET TITLE**  
**Irrigation Plan**

REVISIONS		
No.	Date	Description
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08-03-2021	100%	

**PROJECT NAME**  
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Streetscape & Common Area  
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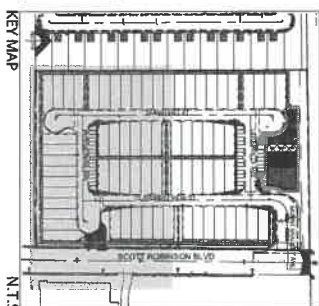
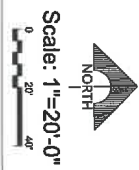


MATCHLINE SEE LA-10

- KEYNOTES**
- ① IRRIGATION CONTROLLER LA-13 1
  - ② IRRIGATION METER & RPPA LA-13 1
  - ③ PER CIVIL PLANS
  - ④ VALVE KEY
  - ⑤ FLUSH VALVE LA-13 3
  - ⑥ QUICK COUPLING VALVE LA-13 9
  - ⑦ DRIP CONTROL ZONE LA-13 7
  - ⑧ BALL VALVE LA-13 5
  - ⑨ TURF VALVE LA-13 15
  - ⑩ SI BEING UNDER STREETS PER CIVIL PLANS
  - ⑪ SI BEING UNDER SIDEWALKS
  - ⑫ LOCATION OF IRRIGATION PIPE AND ITS
  - ⑬ LOCATION OF IRRIGATION PIPE AND ITS
  - ⑭ FOR CLARITY LOCATE EQUIPMENT WITH
  - ⑮ PLANTING AREAS WHEREVER POSSIBLE.

**REVISED**  
8/09/2021

SCOTT ROBINSON, SCOTT ROBINSON & ASSOCIATES  
PLANT MATERIALS LOCATED WITHIN THE RIGHT VISIBILITY ZONES WILL  
BE MAINTAINED AT A MINIMUM HEIGHT OF 3'4"



Sheet No. <b>12</b>  Drawing No. <b>LA-11</b>	Scale: 1"=20'-0"	SHEET TITLE  <b>Irrigation Plan</b>	REVISIONS		PROJECT NAME  <b>Noble Peak</b>  Streetscape & Common Area <b>Richmond American</b>  7770 S. Dean Martin Drive, Suite 308 Las Vegas, NV 89139	
	Date drawn: 07-03-2021		No	Date		Description
	Drawn by: JJ			07-16-2021		100% REVIEW
	Designed by: TTG			05-03-2021		100%
	Approved by: TT					
	Project #: 806755					

## GENERAL LANDSCAPE IRRIGATION NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE ONLY, ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR TO VERIFY PRESSURE ON-SITE AND NOTIFY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY THE PROPER PARTY, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ALL DAMAGE TO THE SYSTEM DUE TO INSUFFICIENT WATER PRESSURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE AND REPAIR OF THE IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL REQUIRE A MINIMUM OF 80 TO 75 PSI WATER PRESSURE AT WATER METER.
4. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
5. THE DESIGN IS DIAGNOSTIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY, AND IS TO BE INSTALLED WITHIN PAVING AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL, INCLUDING TURF. SINGLE LINES SHOWN MAY REPRESENT MULTIPLE LINES OF CONDUIT, PVC WATER LINES OR PVC SLEEVES DEPENDING ON INSTALLATION DESIGN REQUIREMENTS.
6. DO NOT INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS IN CONFLICT WITH EXISTING UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL AT THE TIME THESE PLANS WERE PREPARED, ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
8. LOCATION OF EXISTING ELECTRICAL AND WATER CONNECTIONS (POD) MAY ALTER (POD) SHOWN FIELD VERIFICATION OF EXISTING UTILITIES REQUIRED PRIOR TO INSTALLATION.
9. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
10. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER.
11. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SEEING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
12. ALL QUICK COUPLER VALVES TO BE INSTALLED IN STRIPS OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE SEEING DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 16" OF THE HANDCAVE.
13. ALL VALVES SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
14. VALVE BOXES TO BE BRANDED WITH CONTROLLER AND STATION NUMBER.
15. SUPPLY THE FOLLOWING MATERIAL TO THE OWNER: TWO WRENCHES FOR THE BACKFLOW PREVENTER AND TWO WRENCHES FOR THE AUTOMATIC CONTROLLER. SUPPLY TWO KEYS FOR EACH OF THE CONTROLLERS. TWO VALVE BOX KEYS.
16. FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LATERALS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE TO BE COMPLETED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
18. FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
19. CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINT OF CONNECTIONS ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CONTROLLER BREAKER AT THE 120 VOLT SERVICE PANEL TO THE CONTROLLER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 3" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
20. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTING THE NOZZLE, SCREEN AND ARCS TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIOUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
21. BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
22. PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN NEMKO CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE PROPER GOVERNING AGENCIES. AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
23. ALL LINES LAYOUTS ARE SCHEMATIC. CONTRACTOR TO BID ON ACTUAL NEEDED QUANTITY/LENGTH.

## GENERAL LANDSCAPE IRRIGATION MAINTENANCE NOTES:

1. CONTRACTOR IS RESPONSIBLE TO PROGRAM CONTROLLERS IN ORDER TO APPLY ADEQUATE MOISTURE TO MAINTAIN VIGOROUS PLANT GROWTH IN LANDSCAPE AREAS, OR AS REQUIRED BY THE LANDSCAPE ARCHITECT DUE TO TEMPERATURE DIFFERENCES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR TURNING OFF CONTROLLERS DURING NO-EMERGENCY WEATHER.
3. CONTRACTOR SHALL BE RESPONSIBLE TO REGULARLY INSPECT AND EXAMINE THE SPRINKLER SYSTEM WITH RESPECT TO PROPER FUNCTION AND MUST CLEAN HEADS TO ASSURE PROPER FUNCTION.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY PARTS WHICH NEED REPAIR OR REPLACEMENT RESULTING FROM THEFT OR VANDALISM. REPLACEMENT COSTS COVERS DUE TO VANDALISM OR THEFT WILL BE BORNE BY THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT COSTS DUE TO DAMAGE RESULTING FROM HIS OPERATIONS.
6. CONTRACTOR SHALL PERFORM ALL REPAIRS, REPLACEMENTS, STRAIGHTENING, RAISING, ETC., OF THE SPRINKLER SYSTEM AS IS APPLICABLE TO REPAIRS AND SPRINKLER HEADS. ANY REPAIRS OR REPLACEMENTS MUST BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT BEFORE ANY WORK IS BEGUN.
7. ALL PAVED AREAS SHALL BE KEPT FREE OF TRASH AND DEBRIS AND WILL BE SWEEPED, VACUUMED OR OTHERWISE CLEANED EACH VISIT TO ASSURE A CLEAN AND NEAT APPEARANCE.
8. PROTECT BUILDINGS FROM WATER SPLASHING AND SOIL STAINING.

## DRIP SYSTEM NOTES:

1. ALL LATERAL LINES FOR DRIP SYSTEM SHALL BE PVC AS SHOWN IN THE LEGEND. POLY TUBING SHALL BE CONNECTED TO THE PVC LATERAL LINES IN LOCATIONS ALONG THE LATERAL LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANT GROUPS AND THE MAXIMUM POLY TUBING RUN AS INDICATED IN THE DETAILS.
2. CONNECT POLY TUBING TO PVC AS PER DETAILS AND ROUTE TUBING THROUGH PLANT MASS. INSERT DRIP EMITTERS INTO TUBING AS CLOSE AS POSSIBLE TO PLANT MATERIALS. ROUTE 1/4" TUBING FROM EMITTER TO PLANT. MAX. DISTANCE 8' FT. STAKE ALL DRIP TUBING TO GRADE USING WIRE STAKES. COVER ALL DRIP TUBING COMPLETELY WITH MULCH SPECIFIED ON LANDSCAPE PLANS.
3. AT ALL PAVED PLANTER, PROVIDE 1" PVC SLEEVES THROUGH MASONRY FOR DRIP IRRIGATION LINES.
4. CONTRACTOR TO PROVIDE THE QUANTITY OF EMITTERS BASED ON THE ACTUAL PLANT COUNT AND THE EMITTER LEGEND SHOWN ABOVE. ANY REFERENCE TO EMITTER QUANTITIES ON THESE PLANS IS FOR DESIGN USE ONLY. ALL EMITTER TUBE OUTLETS SHALL BE PROTECTED BY A MULCH OR OTHER MEANS TO PREVENT PLANT STARTING WORK.
5. DRIP SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE THE UPZIPPING OF EMITTERS TO COMPENSATE FOR PLUME PLANT GROWTH. MAINTENANCE PERSONNEL SHALL UPZEEP EMITTERS AS REQUIRED TO PROVIDE ADEQUATE WATER FOR HEALTHY PLANT GROWTH.

## IRRIGATION SCHEDULE

### EMITTERS

SYMBOL	DESCRIPTION	PAT.	RAD.	PSI	SPACING	MANUFACTURER	BOX SIZES (FOR THREES)
NOT SHOWN	EMITTER	DRIP	7			RAINBIRD	30-2000 (FOR THREES)
NOT SHOWN	EMITTER	DRIP	7			RAINBIRD	30-2000 (FOR THREES)

### PLANT EMITTER LEGEND

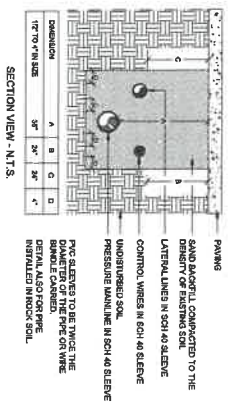
PLANT SIZE	1" OF DRAINAGE
1. 1" PLANT	1
2. 1" PLANT	2
3. 1" PLANT	3
4. 1" PLANT	4
5. 1" PLANT	5
6. 1" PLANT	6
7. 1" PLANT	7
8. 1" PLANT	8
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97. 1" PLANT	97
98. 1" PLANT	98
99. 1" PLANT	99
100. 1" PLANT	100

### EQUIPMENT

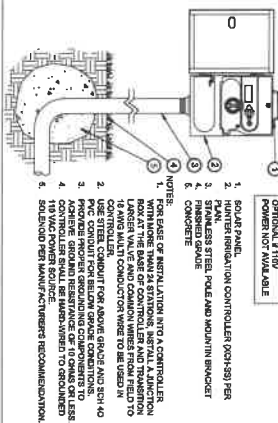
SYMBOL	DESCRIPTION	MANUFACTURER	BOX SIZES (FOR THREES)
1	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
2	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
3	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
4	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
5	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
6	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
7	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
8	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
9	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
10	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
11	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
12	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
13	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
14	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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18	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
19	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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21	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
22	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
23	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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25	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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51	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
52	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
53	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
54	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
55	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
56	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
57	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
58	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
59	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
60	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
61	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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67	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
68	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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70	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
71	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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77	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
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81	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
82	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
83	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
84	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
85	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
86	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
87	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
88	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
89	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
90	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
91	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
92	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
93	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
94	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
95	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
96	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
97	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
98	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
99	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)
100	BACKFLOW PREVENTER	RAINBIRD	30-2000 (FOR THREES)

### PIPE AND WIRE

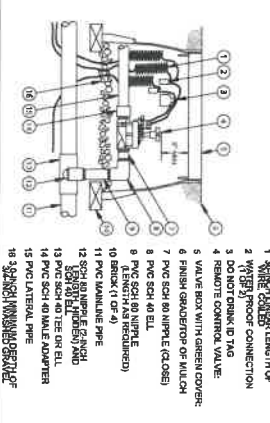
SYMBOL	MANUFACTURER, MODEL NUMBER	PIPE SIZING CHART
1	MAINLINE PVC SCH. 40 1/2" DIA. - SEE CHART FOR SIZE	1/2"
2	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	3/4"
3	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	1 1/2"
4	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	2 1/2"
5	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	3 1/2"
6	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	4 1/2"
7	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	5 1/2"
8	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	6 1/2"
9	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	7 1/2"
10	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	8 1/2"
11	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	9 1/2"
12	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	10 1/2"
13	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	11 1/2"
14	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	12 1/2"
15	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	13 1/2"
16	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	14 1/2"
17	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	15 1/2"
18	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	16 1/2"
19	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	17 1/2"
20	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	18 1/2"
21	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	19 1/2"
22	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	20 1/2"
23	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	21 1/2"
24	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	22 1/2"
25	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	23 1/2"
26	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	24 1/2"
27	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	25 1/2"
28	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	26 1/2"
29	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	27 1/2"
30	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	28 1/2"
31	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	29 1/2"
32	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	30 1/2"
33	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	31 1/2"
34	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	32 1/2"
35	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	33 1/2"
36	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	34 1/2"
37	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	35 1/2"
38	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	36 1/2"
39	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	37 1/2"
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41	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	39 1/2"
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43	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	41 1/2"
44	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	42 1/2"
45	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	43 1/2"
46	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	44 1/2"
47	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	45 1/2"
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49	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	47 1/2"
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53	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	51 1/2"
54	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	52 1/2"
55	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	53 1/2"
56	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	54 1/2"
57	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	55 1/2"
58	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	56 1/2"
59	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	57 1/2"
60	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	58 1/2"
61	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	59 1/2"
62	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	60 1/2"
63	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	61 1/2"
64	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	62 1/2"
65	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	63 1/2"
66	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	64 1/2"
67	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	65 1/2"
68	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	66 1/2"
69	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	67 1/2"
70	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	68 1/2"
71	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	69 1/2"
72	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	70 1/2"
73	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	71 1/2"
74	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	72 1/2"
75	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	73 1/2"
76	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	74 1/2"
77	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	75 1/2"
78	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	76 1/2"
79	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	77 1/2"
80	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	78 1/2"
81	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	79 1/2"
82	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	80 1/2"
83	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	81 1/2"
84	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	82 1/2"
85	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	83 1/2"
86	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	84 1/2"
87	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	85 1/2"
88	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	86 1/2"
89	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	87 1/2"
90	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	88 1/2"
91	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	89 1/2"
92	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	90 1/2"
93	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	91 1/2"
94	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	92 1/2"
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96	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	94 1/2"
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250	LATERAL SDR11 LINE 3/4" DIA. PVC - SEE CHART FOR SIZE	248 1/2"
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252	LATERAL SDR11 LINE 3/	



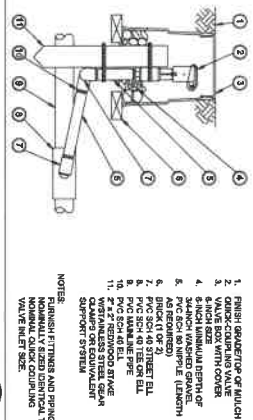
**SLEEVE INSTALLATION**  
SCALE: N.T.S.



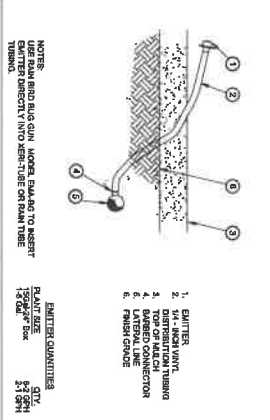
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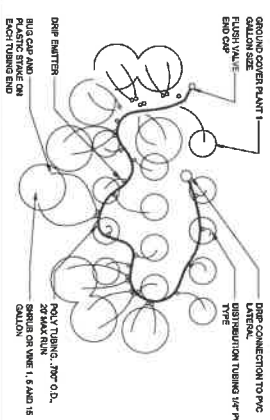
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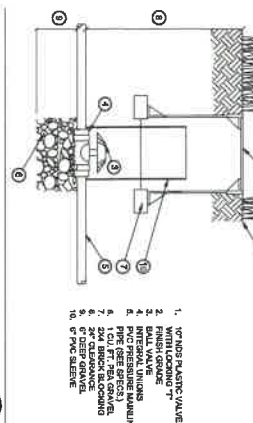
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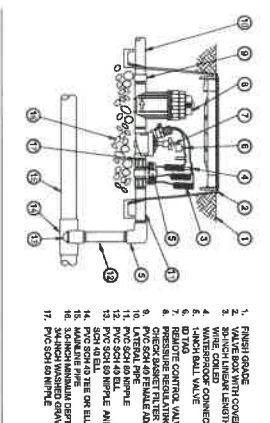
**DRIP EMITTER**  
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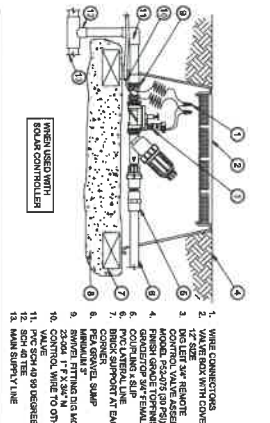
**DRIP LAYOUT**  
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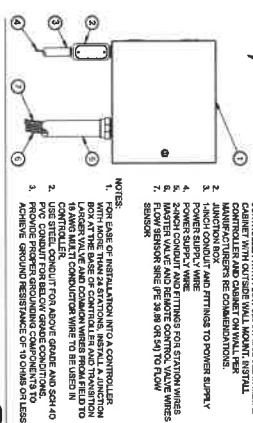
**BALL VALVE**  
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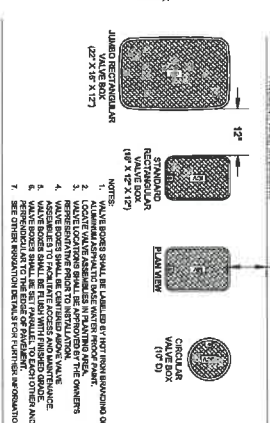
**DRIP VALVE WITH PRESSURE REGULATOR**  
SCALE: N.T.S.



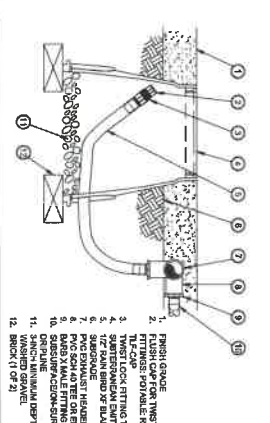
**DRIP CONTROL ZONE KIT**  
SCALE: N.T.S.



**VALVE BOX PLACEMENT**  
SCALE: N.T.S.

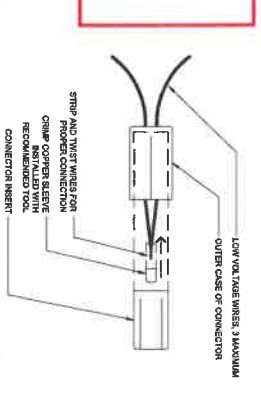


**FLUSH VALVE**  
SCALE: N.T.S.

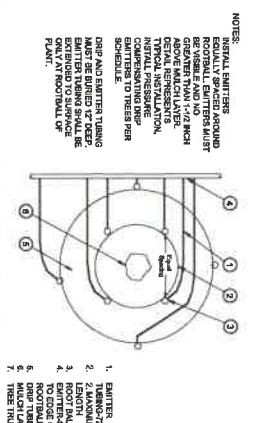


**FLUSH VALVE**  
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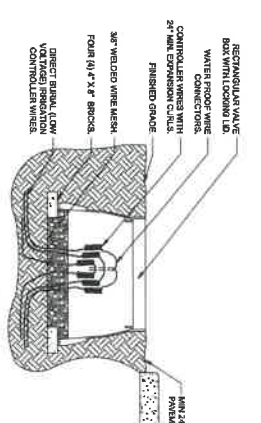
**REVISED**  
**8/09/2021**



**WIRE CONNECTION**  
SCALE: N.T.S.



**TREE DRIP LINE LAYOUT**  
SCALE: N.T.S.



**ELECTRICAL PULL BOX (LOW VOLTAGE)**  
SCALE: N.T.S.

**ASSESSOR'S PARCELS - CLARK COUNTY, NV.**  
**Briana Johnson - Assessor**

**139-04-2**  
**S 2 NW 4**  
**4**

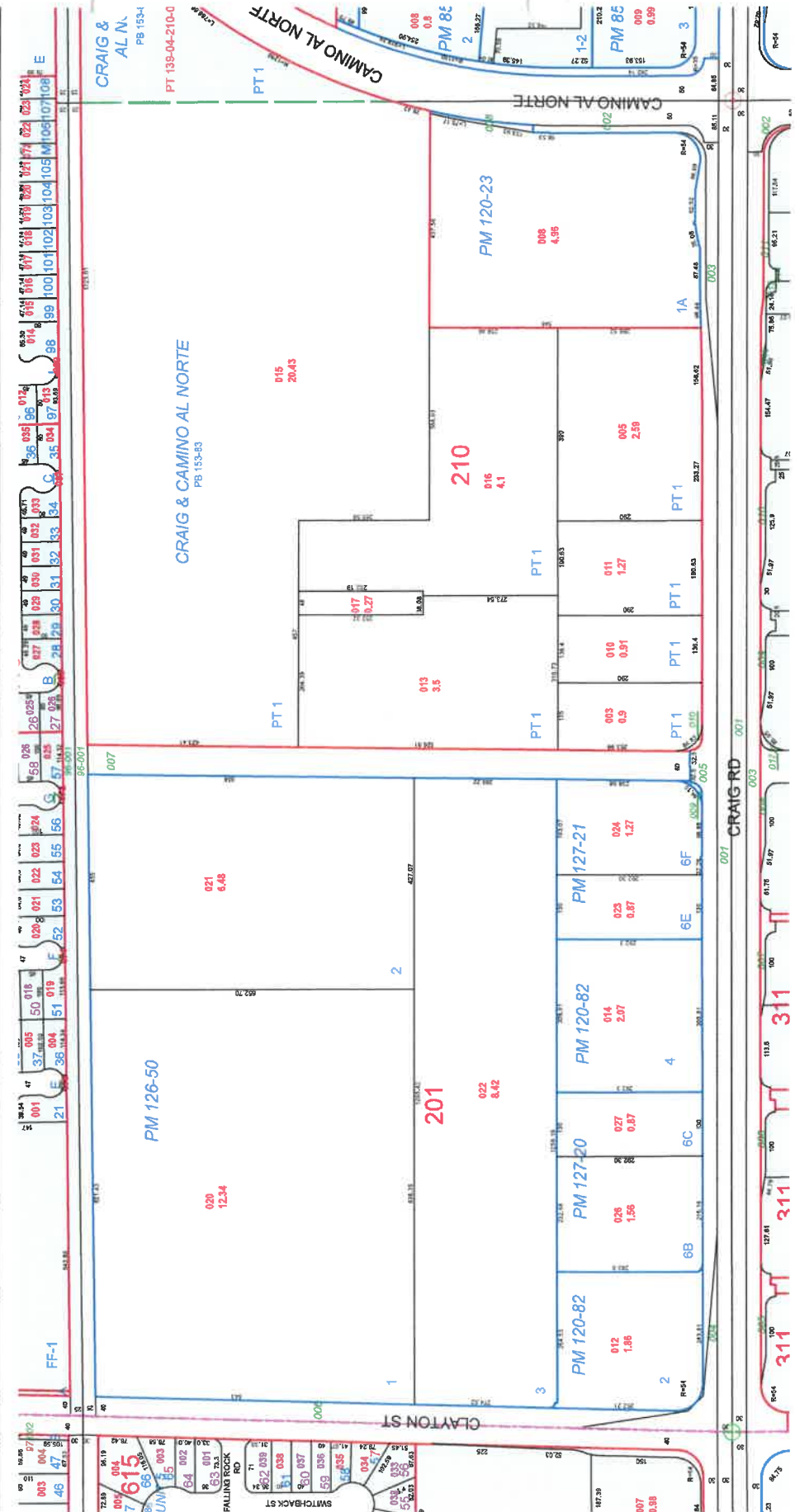
**T20S R61E**  
**100 101 102**  
**125 124 123**  
**138 139 140**  
**163 162 161**

**007 ROAD PARCEL NUMBER**  
**001 PARCEL NUMBER**  
**1.00 ACREAGE**  
**202 PARCEL SUB/SEQ NUMBER**  
**PG 24-45 PLAT RECORDING NUMBER**  
**5 BLOCK NUMBER**  
**CL 5 GOV. LOT NUMBER**

**Scale: 1" = 200'**  
**Rev: 5/5/2021**

**MAP LEGEND**  
**PARCEL BOUNDARY**  
**SUB BOUNDARY**  
**PM/D BOUNDARY**  
**ROAD EASEMENT**  
**MATCH / LEADER LINE**  
**HISTORIC LOT LINE**  
**HISTORIC SUB BOUNDARY**  
**SECTION LINE**

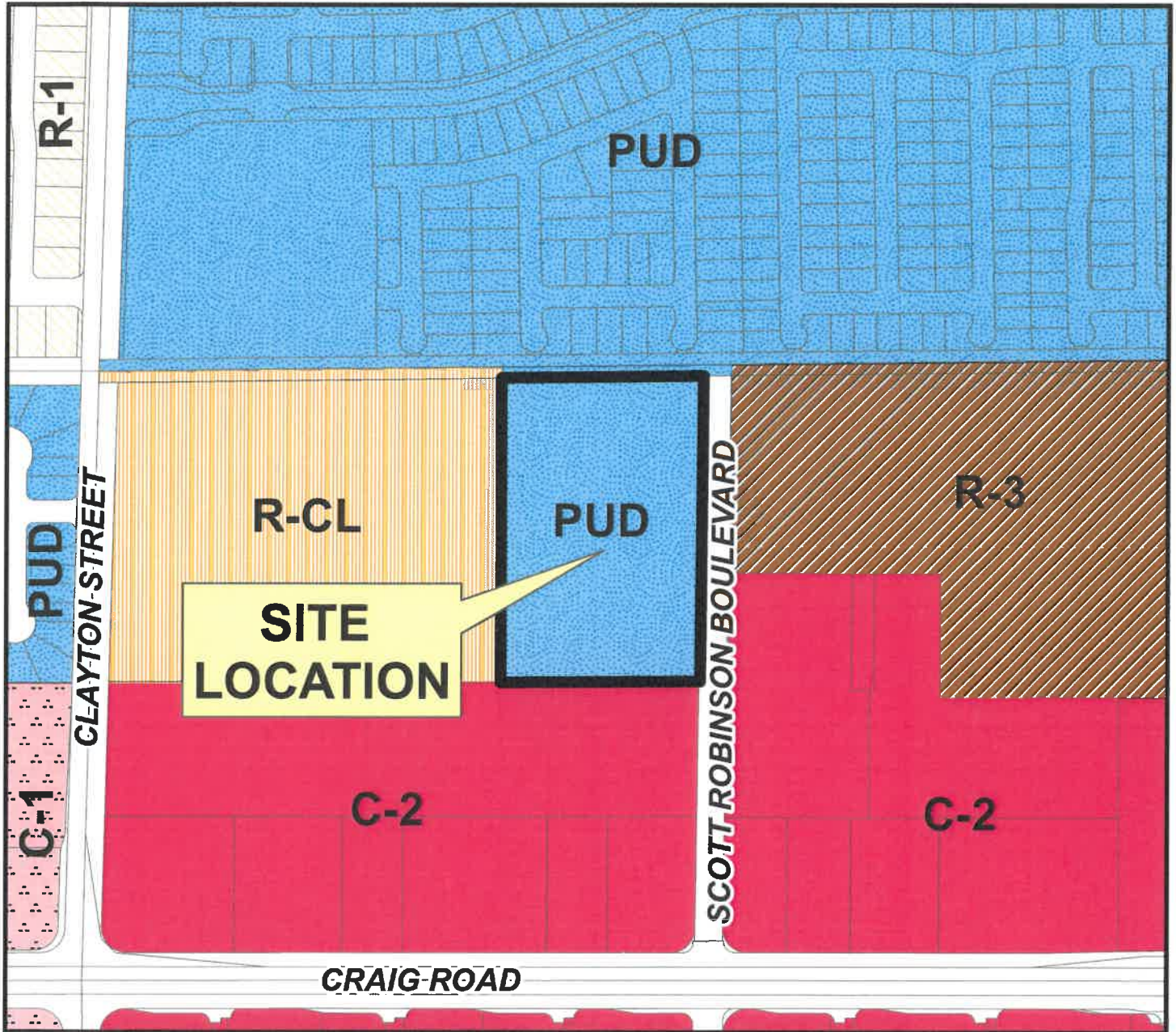
**NOTES**  
 This map is for assessment use only and does NOT represent a survey.  
 No liability is assumed for the accuracy of the data delineated herein.  
 Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.  
 This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.  
 USE THIS SCALE/FIELD WHEN MAP REDUCED FROM TEXT ORIGINAL





# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



0 150 300 600 900 1,200 1,500 1,800 Feet

Applicant: Richmond American Homes of Nevada, LLC  
Application: Final Development Plan  
Request: To Develop 70 Two-Family Homes  
Project Info: West of Scott Robinson Boulevard, approximately 581 feet north of Craig Road  
Case Number: FDP-09-2021

8/5/2021

