

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Robert Eastman, Planning Manager, Land Development & Community Services
From: Robert Weible, Land Development Project Leader, Department of Public Works
Subject: SUP-44-45-46-2020 **2595 North Las Vegas Blvd Center**
Date: November 10, 2020

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans. Conformance may require modifications to the site plan.
3. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040. Conformance may require modifications to the site.
4. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Number 222.1 and 225.
5. The property owner is required to grant a roadway easement for commercial driveways.
6. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
7. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
8. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.
9. Cartier Avenue shall terminate in a cul-de-sac that meets Fire Safety requirements. No access shall be granted from Cartier Avenue to this proposed commercial development with the exception of emergency access only.

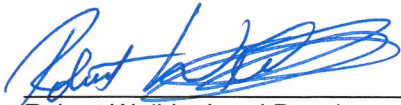
Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

November 10, 2020

- There is an existing sewer line located within the Cartier Avenue alignment of the subject property. Based upon a complete review of the required civil improvement plans, the water line within the Cartier Avenue alignment may need to be extended to Las Vegas Blvd. There are two Public Utility Easements within that general alignment as well. No permanent uses or obstructions can be constructed within the Easement and any proposed surface improvements require Utilities Director approval. Modifications to the site plan are needed to comply with the requirements.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**:
<http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.



Robert Weible, Land Development Project Leader
Department of Public Works

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Robert Eastman & Amy Michaels – Planning & Zoning
From: Gina Gavan – Chief Innovation Officer and Director Economic Development
Subject: SUP-000044-2020, SUP-000045-2020, SUP-000046-2020, 2595 North Las Vegas
Blvd Center – Special Use Permits
Date: November 30, 2020

The subject property requesting the Special Use Permits is located inside the City's North Redevelopment Area, at 2595 N Las Vegas Blvd.

SUP-000044-2020, SUP-00045-2020, SUP-00046-2020, SUP requests is to allow a self-service drive through car wash, a mechanic shop, and a public self-storage facility to be located at 2595 North Las Vegas Boulevard. (APN 139-13-301-001)

The property is made up of one parcel approximately 3.98 acres in size and is currently vacant. The development of this raw land and the proposed uses will provide revitalization and certain professional services such as a car wash and mechanics shop that is in demand within this area.

Should the Planning Commission approve the application, the Redevelopment Agency agrees with any conditions that Planning Staff provides, related to the project.

Architect Sean Nourani

AP+E Architects, Planners, Engineers

2115 West crescent Avenue Suite 261 Anaheim California 92801

Telephone: 424 365 2070 Fax: 714 844 4371 Email: architectseannourani@outlook.com

Proposed a mechanic shop

October 27, 2020

Project:

Use of existing vacant land in commercial C2 zone. Proposed a Mechanic shop of 1400 sq. ft.

Simultaneously we are proposing under a separate submittal:

A self-service drive through car wash of 3400 sq. ft. and public self-storage facility of 43,800 sq. ft.

Project location:

2595 North Las Vegas Blvd. Las Vegas Nevada 89030

Property owner:

Donel developments LLC

Manager: Benjamin Donel

6125 Washington Blvd. Culver City Ca 90232

Telephone 310 864 7600

Project narrative

Use of existing vacant land in commercial C2 zone. Proposing a Mechanic shop of 1400 sq. ft.

This mechanic shop main operation will involve oil and filter change, smog check and minor vehicle repairs.

Mechanic shop same as other uses on this lot will have its own fenced, gated entrance.

Participants, as arrive park at customer parking area.

Customers will attend to customer reception for required paperwork and if choose, waiting area.

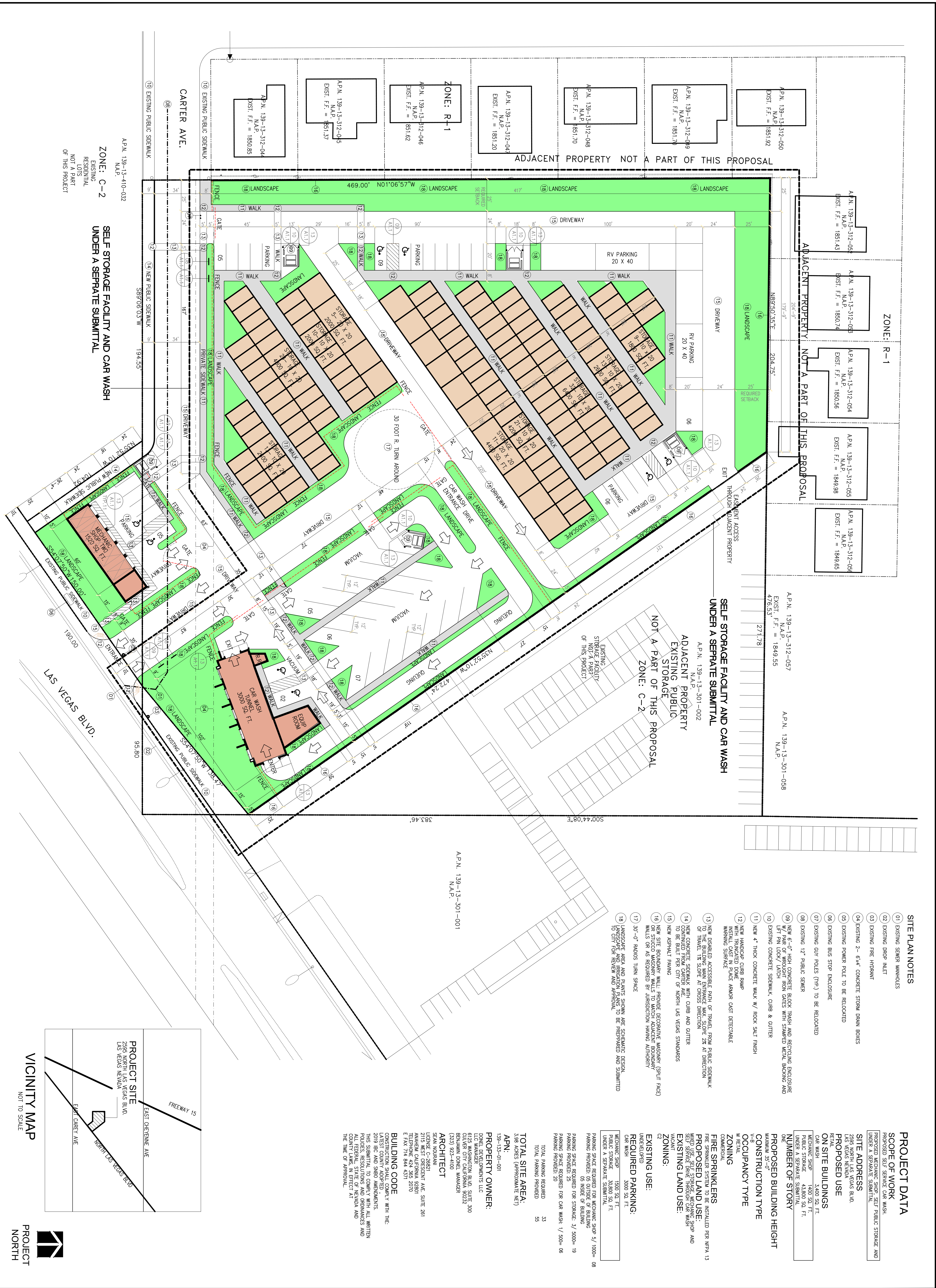
Vehicles will be moved from customer parking area to shop bays, only by certified mechanics.

Vehicles will be moved from shop bay to customer parking are only by certified mechanics only.

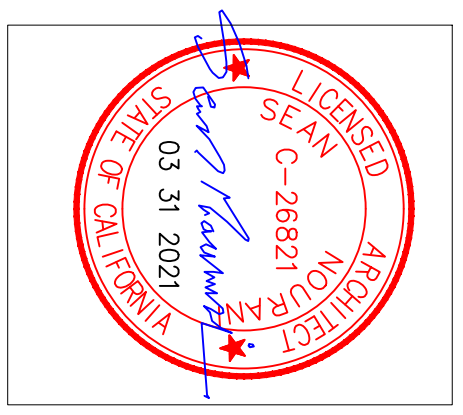
From that point customers will take position of their vehicle and drive out of mechanic shop area.

Proposed hours of operation are as: Monday through Friday 7:00AM to 7:00PM.

Saturday and Sunday from 8:00AM to 5:00Pm.



REVISIONS	
10 07 20	
10 23 20	



PROJECT:

PROPOSED MECHANIC SHOP

2595 NORTH LAS VEGAS BLVD, LAS VEGAS NEVADA 89030

Architect Sean Nourani
AP+E Architects, Planners, Engineers
Planning, Documents, Management
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[illegible]

SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
A1.1

SCALE: 1/8"= 1'-0"

REVISIONS	
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10 23 20	

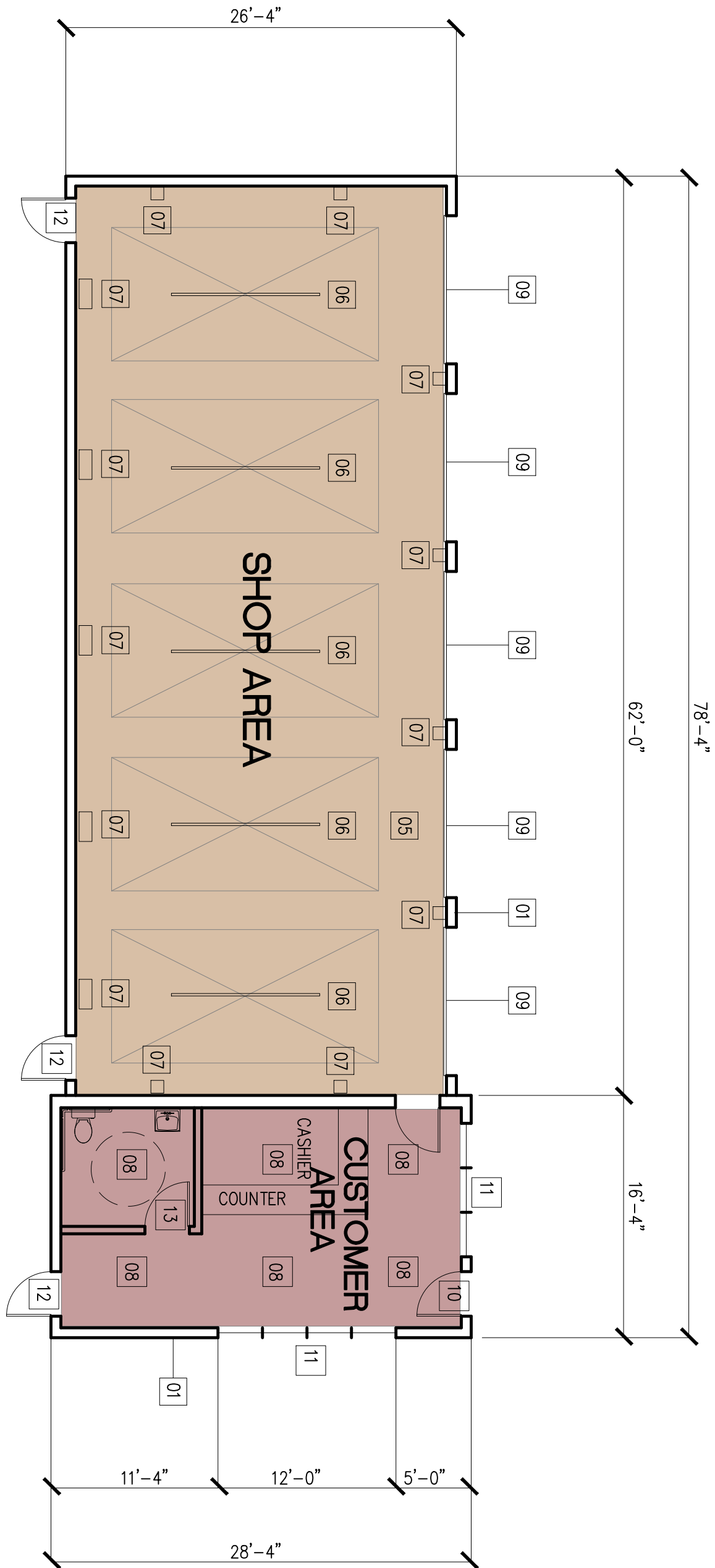


PROJECT:

PROPOSED MECHANIV SHOP

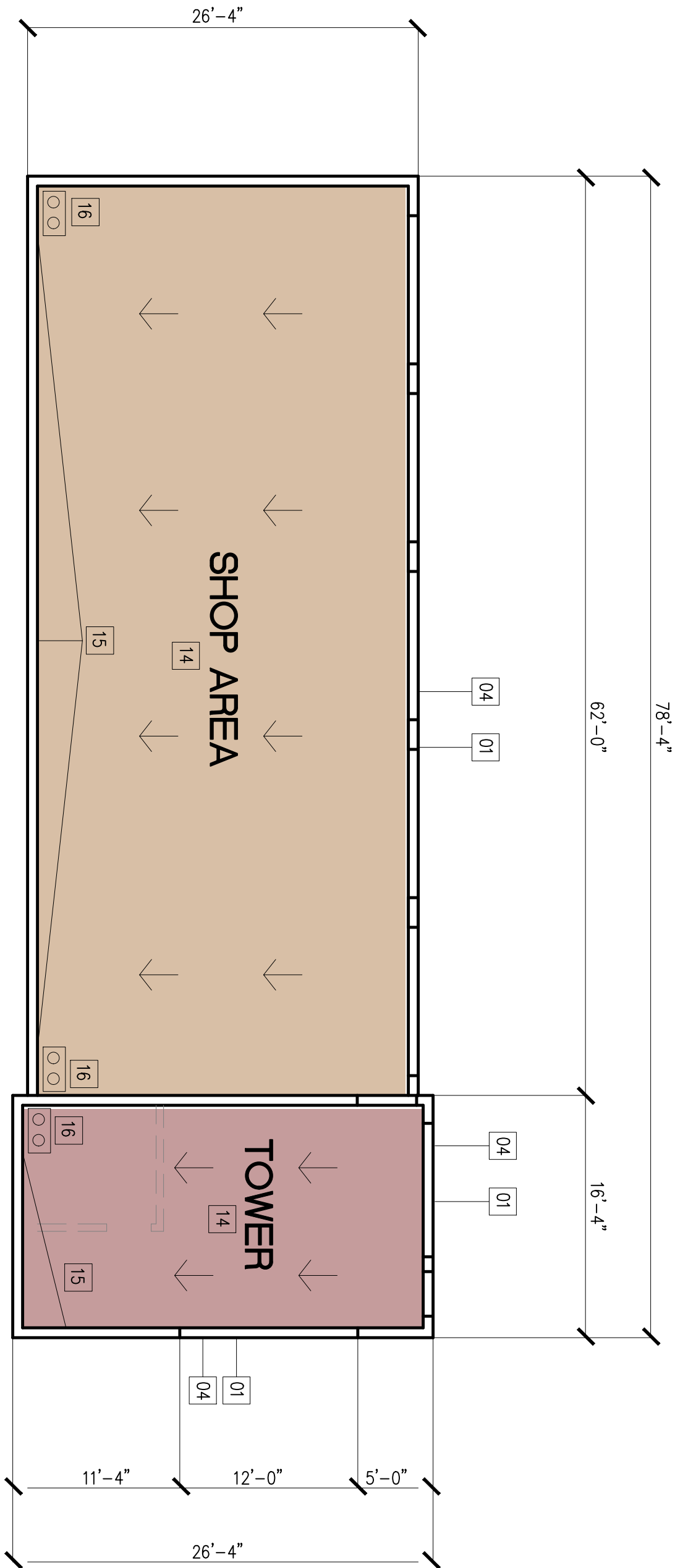
2595 NORTH LAS VEGAS BLVD, LAS VEGAS NEVADA 89030

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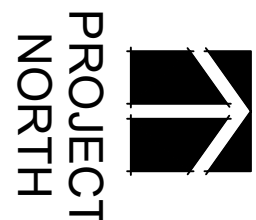
01 MECHANIC SHOP FLOOR PLAN

SCALE: 1/8" = 1'-0"



02 MECHANIC SHOP ROOF PLAN

SCALE: 1/8" = 1'-0"



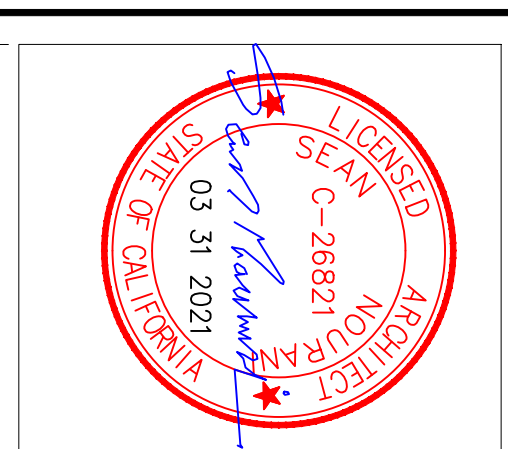
PROJECT NORTH

FLOOR PLAN AND ROOF NOTES

- 1A EXTERIOR WALLS
2X FRAMING WALL WITH MOISTURE BARRIER
AND SMOOTH STUCCO FINISH
- 02 EXTERIOR SPANDREL GLASS
3" WIDE X 7' HIGH
WITH ANODIZED BRONZE ALUMINUM
FRAME AND DIVIDERS
3/8" REFLECTIVE SPANDREL GLASS OVER
EXTERIOR INDENTED STUCCO FINISHED WALL
- 03 EXTERIOR SPANDREL GLASS
3" WIDE X 3' HIGH
WITH ANODIZED BRONZE ALUMINUM
FRAME AND DIVIDERS
TOTAL OF 3 AT THIS LOCATION
3/8" REFLECTIVE SPANDREL GLASS OVER
EXTERIOR INDENTED STUCCO FINISHED WALL
- 04 EXTERIOR PARAPET FASCIA
2'-6" WIDE FRAMING FASCIA EXTENDED
1'-0" BEYOND EXTERIOR WALL WRAPPED
WITH ANODIZED SHEET METAL FASCIA FLASHING
WITH UNDER LED LIGHTING
- 05 INTERIOR FLOOR
4 INCH CONCRETE FLOOR SMOOTH FINISH
WITH SEALED CONCRETE FINISH
OVER MOISTURE BARRIER OVER COMPACTED GRADE
- 06 INTERIOR LED LIGHTING SHOP HIGH BAY
TWO LAMP 10 FOOT LONG STRIP LED
LIGHT FIXTURE HUNG FROM ROOF STRUCTURE
- 07 INTERIOR LED LIGHTING SHOP WALL MOUNT
WALL MOUNT LED LIGHT FIXTURE
INSTALL AT +12 FOOT ABOVE FINISHED FLOOR
- 08 INTERIOR LED LIGHTING AT CUSTOMER AREA
CEILING MOUNT 2X 2 LED LIGHT FIXTURE
INSTALL RECESSED AT CEILING
- 09 SHOP CAR ENTRY DOORS
10' WIDE X 12' HIGH STEEL DOOR AND FRAME
FACTORY FINISHED GRAY PER COLOR CHART
SEE BUILDING EXTERIOR ELEVATIONS
ROLL UP TYPE
- 10 SHOP CUSTOMER ENTRY DOOR
3' WIDE X 7' HIGH STEEL FRONT TYPE
GLASS AND MULLION
ANODIZED BRONZE
SWINGING TYPE
- 11 EXTERIOR GLASS WINDOWS
3' WIDE X 7' HIGH STORE FRONT TYPE
1/4" REFLECTIVE GLASS IN ANODIZED BRONZE
STEEL FRAME WITH 18" LOWER WINDOW
TRANSOM SEPARATED WITH MULLION
WITH GRAY FILM ENERGY SAVER
ROW 3 AT FRONT AND ROW OF 4 AT SIDE
- 12 SHOP EXIT DOOR
3' WIDE X 7' HIGH STEEL DOOR AND FRAME
FACTORY FINISHED GRAY PER COLOR CHART
SEE BUILDING EXTERIOR ELEVATIONS
SWINGING TYPE
- 13 RESTROOM ENTRY DOOR
3' WIDE X 7' HIGH SOLID WOOD DOOR STAINED
LIGHT BRONZE
CONTRASTING FINISH WITH FRAME AND WITH
PRE FINISHED STEEL BRONZE ANODIZED FRAME
SWINGING TYPE
- 14 BUILT UP ROOF
FLOOR JOISTS STRUCTURAL PLYWOOD, MOISTURE
BARRIER WITH BUILT UP ROOFING
SLOPE TO ROOF DRAINS
- 15 SHEET METAL SADDLES
SHEET METAL SADDLES TO DIRECT ROOF
RUNOFFS TO ROOF DRAIN
- 16 ROOF DRAIN AND OVERTLOW
4 INCH ROOF DRAIN WITH 4 INCH OVERTLOW
PIPE THROUGH EXTERIOR WALL DOWN
PIPE UNDERGROUND SLOPE TO LANDSCAPE
RETENTION AREA AND PUMP OVERTLOW TO
EXISTING PUBLIC STORM WATER SYSTEM
- 17 EXTERIOR LED LIGHTING
AT ALL EXTERIOR DOORS
WITH GLAZE SHIELD
- 18 EXTERIOR DECORATIVE LIGHTING
- 19 EXTERIOR BUILDING SPOT LIGHTING
DIRECTED AT BUILDING
- 20 EXTERIOR SIGNAGE
UNDER A SEPARATE PERMIT
NOT A PART OF THIS SUBMITTAL

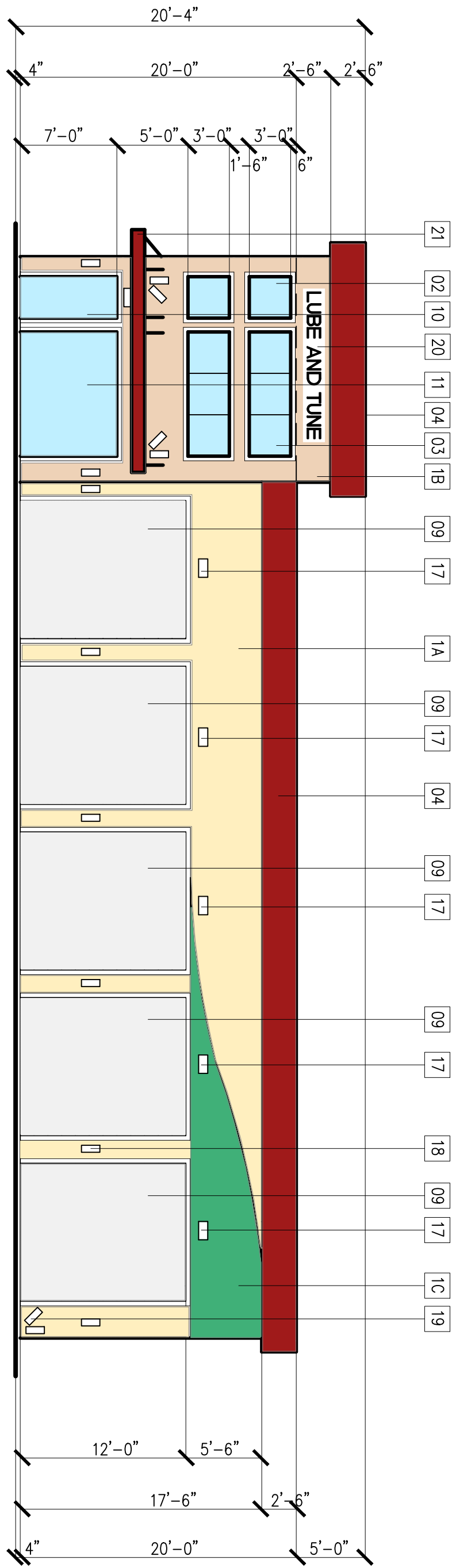
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PROJECT:
PROPOSED MECHANIV SHOP
2595 NORTH LAS VEGAS BLVD, LAS VEGAS NEVADA 89030



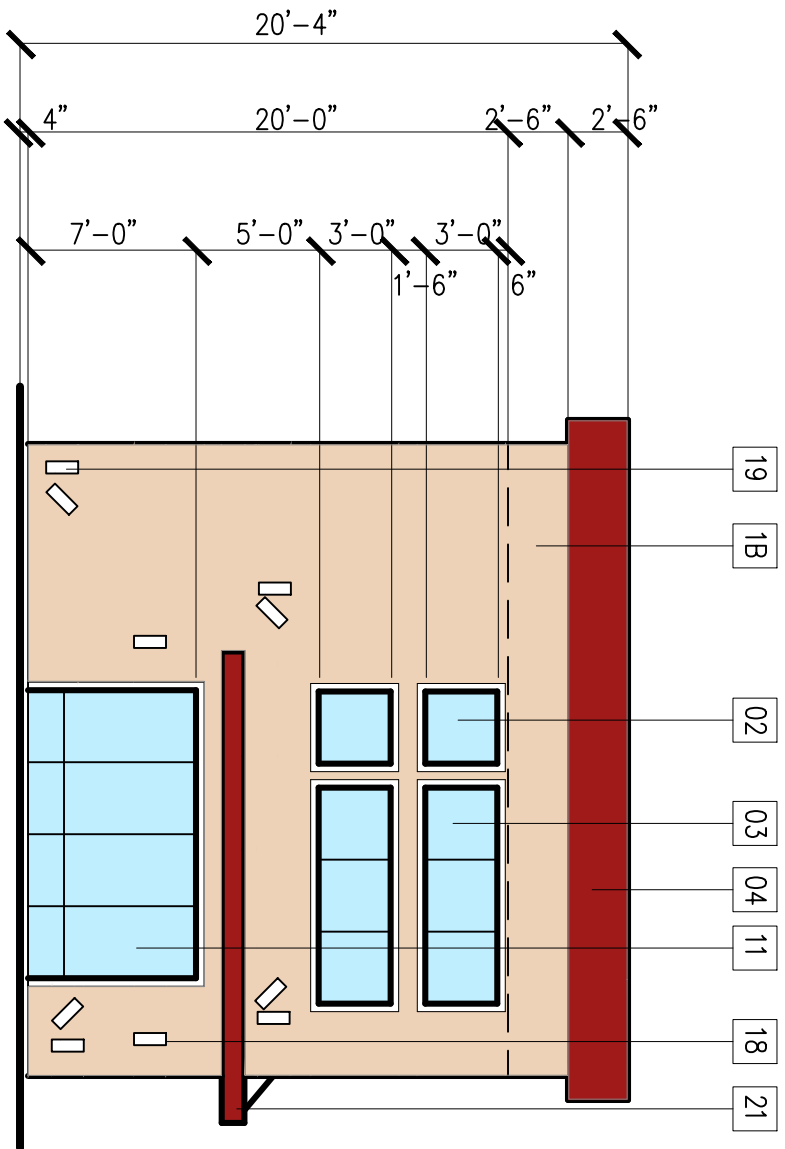
REVISIONS	
10	07 20

SHEET TITLE:
MECHANIC SHOP
FLOOR AND
ROOF PLAN
SCALE: 1/8" = 1'-0"
SHEET NUMBER:
A2.1



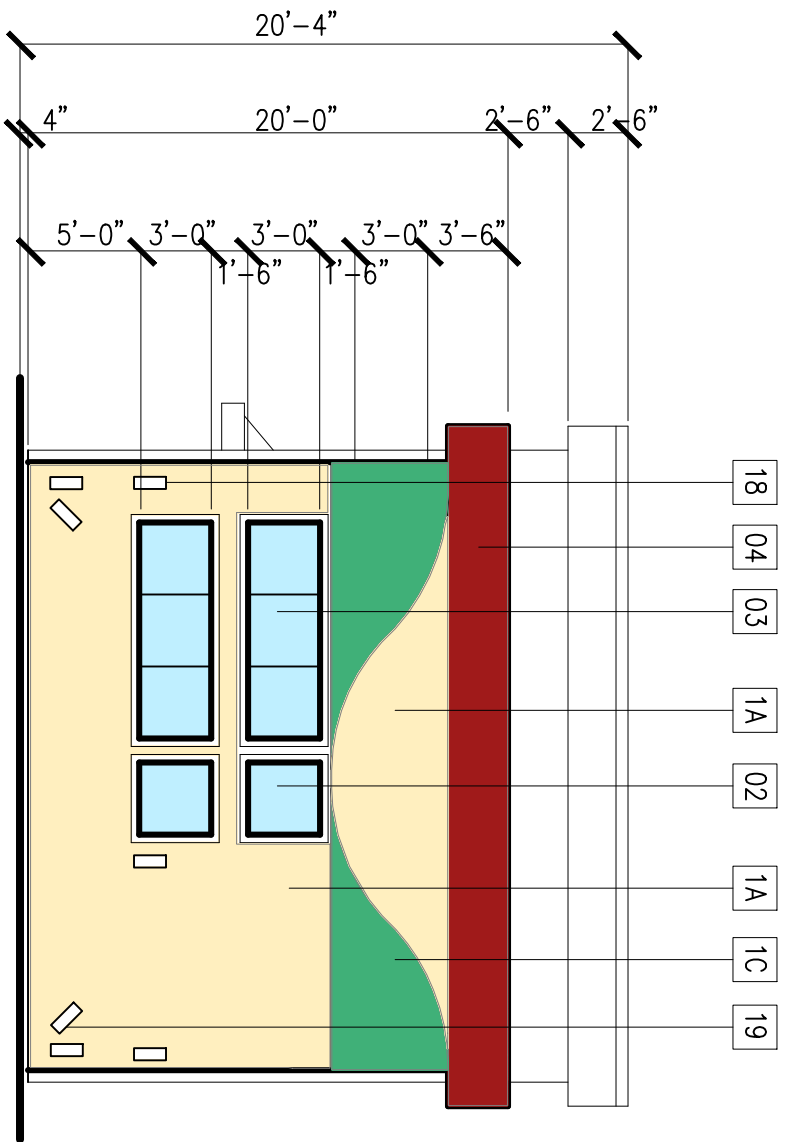
01 MECHANIC SHOP NORTH ELEVATION

SCALE: 1/8" = 1'-0"



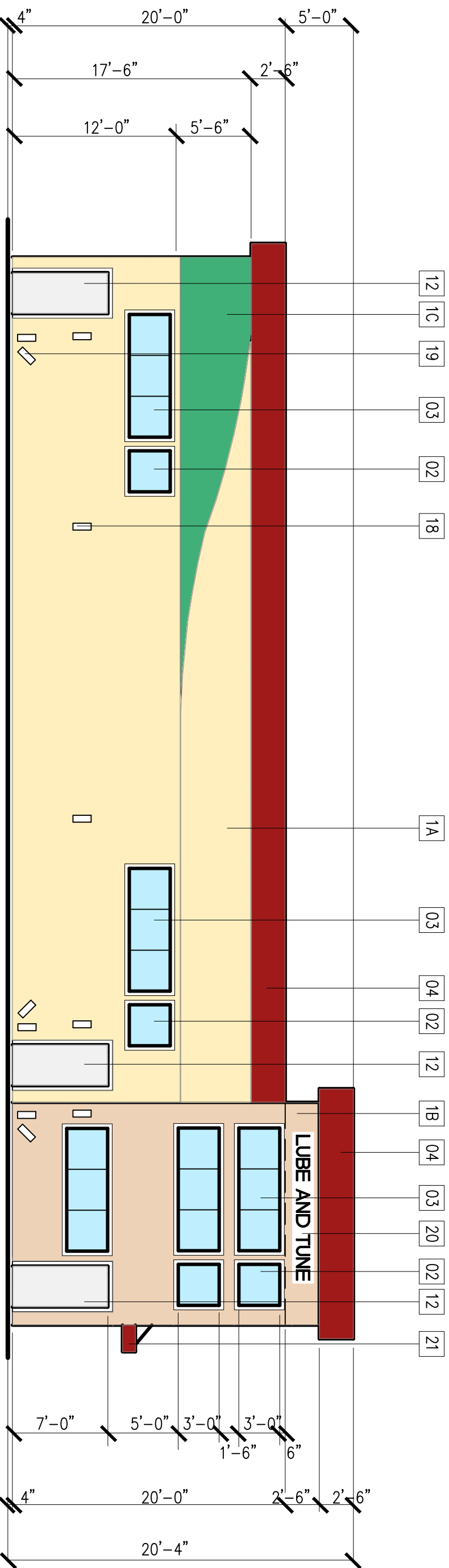
02 MECHANIC SHOP EAST ELEVATION

SCALE: 1/8" = 1'-0"



03 MECHANIC SHOP WEST ELEVATION

SCALE: 1/8" = 1'-0"



04 MECHANIC SHOP SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

FLOOR PLAN AND ROOF NOTES

- 14

18

1C

EXTERIOR WALLS
2X FRAMING WALL WITH MOISTURE BARRIER
AND SMOOTH STUCCO FINISH
- 02

1B

EXTERIOR SPANDREL GLASS
3" WIDE X 3' HIGH
WITH ANODIZED BRONZE ALUMINUM
FRAME AND DIVIDERS
3/8" REFLECTIVE SPANDREL GLASS OVER
EXTERIOR INDENTED STUCCO FINISHED WALL
- 03

1C

EXTERIOR SPANDREL GLASS
3" WIDE X 3' HIGH
WITH ANODIZED BRONZE ALUMINUM
FRAME AND DIVIDERS
3/8" REFLECTIVE SPANDREL GLASS OVER
EXTERIOR INDENTED STUCCO FINISHED WALL
- 04

02

03

EXTERIOR PARAPET FASCIA
2'-6" WIDE FRAMING FASCIA EXTENDED
1'-0" BEYOND EXTERIOR WALL WRAPPED
WITH ANODIZED SHEET METAL FASCIA FLASHING
WITH UNDER LED LIGHTING
- 05

04

21

INTERIOR FLOOR
4 INCH CONCRETE FLOOR SMOOTH FINISH
WITH SEALED CONCRETE FINISH COMPACTED GRADE
OVER MOISTURE BARRIER OVER COMPACTED GRADE
- 06

09

12

INTERIOR LED LIGHTING SHOP HIGH BAY
TWO LAMP 10 FOOT LONG STRIP LED
LIGHT FIXTURE HUNG FROM ROOF STRUCTURE
- 07

09

12

INTERIOR LED LIGHTING SHOP WALL MOUNT
WALL MOUNT LED LIGHT FIXTURE
INSTALL AT +12 FOOT ABOVE FINISHED FLOOR
- 08

09

12

INTERIOR LED LIGHTING AT CUSTOMER AREA
CEILING MOUNT 2X 2 LED LIGHT FIXTURE
INSTALL RECESSED AT CEILING
- 09

11

12

SHOP CAR ENTRY DOORS
10' WIDE X 12' HIGH STEEL DOOR AND FRAME
FACTORY FINISHED GRAY PER COLOR CHART
SEE BUILDING EXTERIOR ELEVATIONS
ROLL UP TYPE
- 10

11

12

SHOP CUSTOMER ENTRY DOOR
3' WIDE X 7' HIGH STORE FRONT TYPE
GLASS AND MULLION
ANODIZED BRONZE
SWINGING TYPE
- 11

11

12

EXTERIOR GLASS WINDOWS
3' WIDE X 7' HIGH STORE FRONT TYPE
1/4" REFLECTIVE GLASS IN ANODIZED BRONZE
STEEL FRAME WITH 18" LOWER WINDOW
TRANSOM, SEPARATED WITH MULLION
WITH GRAY FILM ENERGY SAVING
ROW 3 AT FRONT AND ROW OF 4 AT SIDE
- 12

12

12

SHOP EXIT DOOR
3' WIDE X 7' HIGH STEEL DOOR AND FRAME
FACTORY FINISHED GRAY PER COLOR CHART
SEE BUILDING EXTERIOR ELEVATIONS
SWINGING TYPE
- 13

13

13

RESTROOM ENTRY DOOR
3' WIDE X 7' HIGH SOLID WOOD DOOR STAINED
LIGHT BRONZE
CONTRASTING FINISH WITH FRAME AND WITH
PRE FINISHED STEEL BRONZE ANODIZED FRAME
SWINGING TYPE
- 14

14

14

BUILT UP ROOF
TRUSS JOISTS, STRUCTURAL PLYWOOD, MOISTURE
BARRIER WITH BUILT UP ROOFING
SLOPE TO ROOF DRAINS
- 15

15

15

SHEET METAL SADDLES
SHEET METAL SADDLES TO DIRECT ROOF
RUNOFFS TO ROOF DRAIN
- 16

16

16

ROOF DRAIN AND OVERFLOW
4 INCH ROOF DRAIN WITH 4 INCH OVERFLOW
HANGING EXTERIOR WALL DOWN LANDSCAPE
BEHIND LANDSCAPE TO OVERFLOW TO
EXISTING PUBLIC STORM WATER SYSTEM
- 17

17

17

EXTERIOR LED LIGHTING
AT ALL EXTERIOR DOORS
WITH GLASS SHIELD
- 18

18

18

EXTERIOR DECORATIVE LIGHTING
- 19

19

19

EXTERIOR BUILDING SPOT LIGHTING
DIRECTED AT BUILDING
- 20

20

20

EXTERIOR SIGNAGE
UNDER A SEPARATE PERMIT
NOT A PART OF THIS SUBMITTAL
- 21

21

21

EXTERIOR AWNING
TUBULAR STEEL FRAMED AWNING
ONE FOOT WIDE X TWO FEET DEEP
OVER CUSTOMER ENTRY AREA WAREHOUSE
TO OVER SHOE WINDOWS
WITH CABLE TIE BACK
COLOR TO MATCH FASCIA
- 1A

1B

1C

EXTERIOR WALLS
DUNN EDWARDS
EXTERIOR STUCCO
RADIANT SUNRISE
COLOR DE5397 R4#161
- 1B

1B

1B

EXTERIOR WALLS
DUNN EDWARDS
EXTERIOR STUCCO
YAM
COLOR DE5200 R4#291
- 1C

1C

1C

EXTERIOR WALLS
DUNN EDWARDS
EXTERIOR STUCCO
SHAMROCK FIELD
COLOR DE3664 R4#171
- 02

03

03

SPANDREL GLASS
COLOR BRIGHT LIGHT BLUE
- 04

21

21

EXTERIOR PARAPET FASCIA
DUNN EDWARDS
EXTERIOR STUCCO
DEK 106 R4#195
- 09

12

12

CAR WASH ENTRY EXIT DOORS
STEEL ROLL UP DOOR
COLOR COOL LIGHT GRAY

Architect Sean Nourani

AP+E Architects, Planners, Engineers

Planning, Documents, Management

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PROJECT:

PROPOSED MECHANIV SHOP

2595 NORTH LAS VEGAS BLVD, LAS VEGAS NEVADA 89030

ARCHITECT SEAN NOURANI

03 31 2021

SEAL

NOURANI

03 31 2021

SEAL

NOURANI

REVISIONS	
10 07 20	
10 23 20	

SHEET TITLE:

MECHANIC SHOP

EXTERIOR

ELEVATIONS

SCALE 1/8" = 1'-0"

SHEET NUMBER:

A3.1

PLANT SCHEDULE

TREES

SYMBOL	REF.	BOTANICAL COMMON NAME	SIZE
	T1	NEW PISTACIA CHINENSIS	24" BOX
	XX	NEW CHINESE PISTACHE	24" BOX
	XX	NEW CAMELLIA JAPONICA	24" BOX
	XX	NEW CAMELLIA JAPONICA	24" BOX

SHRUBS

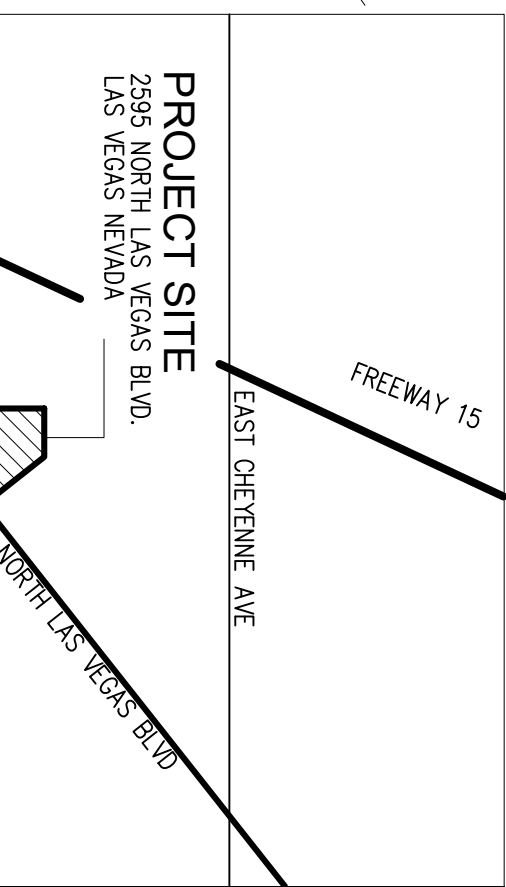
SYMBOL	REF.	BOTANICAL COMMON NAME	SIZE
	SI	NEW EUCALYPTUS UROPHYLLA	15 GALLON
	XX	NEW EUCALYPTUS UROPHYLLA	15 GALLON
	XX	NEW EUCALYPTUS UROPHYLLA	15 GALLON
	XX	NEW EUCALYPTUS UROPHYLLA	15 GALLON

GROUND COVER

SYMBOL	REF.	BOTANICAL COMMON NAME
	G1	NEW BERMUDA GRASS
	XX	NEW BERMUDA GRASS

SITE PLAN NOTES

- EXISTING SEWER MANHOLES
- EXISTING DRAIN INLET
- EXISTING FIRE HYDRANT
- EXISTING 2- 6"x4" CONCRETE STORM DRAIN BOXES
- EXISTING POWER POLE TO BE RELOCATED
- EXISTING BUS STOP ENCLOSURE
- EXISTING GUY POLES (TYP.) TO BE RELOCATED
- EXISTING 12" PUBLIC SEWER
- NEW 6"-Ø" HIGH CONCRETE BLOCK TRASH AND RECYCLING ENCLOSURE WITH PAIR OF WROUGHT IRON GATES WITH STAMPED METAL BACKING AND LIFT PIN LOCK/ LATCH
- EXISTING CONCRETE SIDEWALK, CURB & GUTTER
- NEW 4" THICK CONCRETE WALK W/ ROCK SALT FINISH
- NEW HANDICAP CURB RAMP
- INSTALL CAST IN PLACE ARMOR CAST DETECTABLE WARNING SURFACE
- NEW DISABLED ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE
- NEW CONCRETE SIDEWALK WITH CURB AND GUTTER
- NEW ASPHALT PAVING
- NEW SITE BOUNDARY WALL PROVIDE DECORATIVE MASONRY (SPIT FACE) REPAIRS TO EXISTING WALLS TO MEET CITY STANDARDS
- LANDSCAPE AREA AND PLANTS SHOWN ARE SCHEMATIC DESIGN TO BE PREPARED AND SUBMITTED TO CITY FOR REVIEW AND APPROVAL

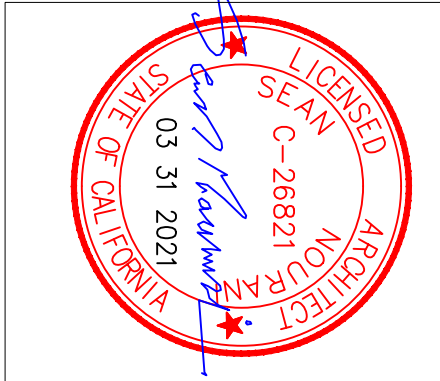


VICINITY MAP
NOT TO SCALE

PROJECT NORTH

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PROJECT:
PROPOSED MECHANIC SHOP
2595 NORTH LAS VEGAS BLVD, LAS VEGAS NEVADA 89030



REVISIONS
10/07/20
10/23/20

SHEET TITLE:
PROPOSED SITE PLAN
SCALE: 1" = 30'
L10

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.



USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL



MAP LEGEND

- PARCEL BOUNDARY
- SUB BOUNDARY
- PM/LD BOUNDARY
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PM/LD BOUNDARY
- SECTION LINE
- CONDOMINIUM UNIT
- AIR SPACE PCL
- RIGHT OF WAY PCL
- SUB-SURFACE PCL
- 007 ROAD PARCEL NUMBER
- 001 PARCEL NUMBER
- 1.00 ACREAGE
- 202 PARCEL SUB/SEQ NUMBER
- PB 24-45 PLAT RECORDING NUMBER
- 5 BLOCK NUMBER
- 5 LOT NUMBER
- GLS GOV. LOT NUMBER

ASSESSOR'S PARCELS - CLARK COUNTY, NV.
Briana Johnson - Assessor

BOOK T20S R61E

SEC. 13

MAP N 2 SW 4

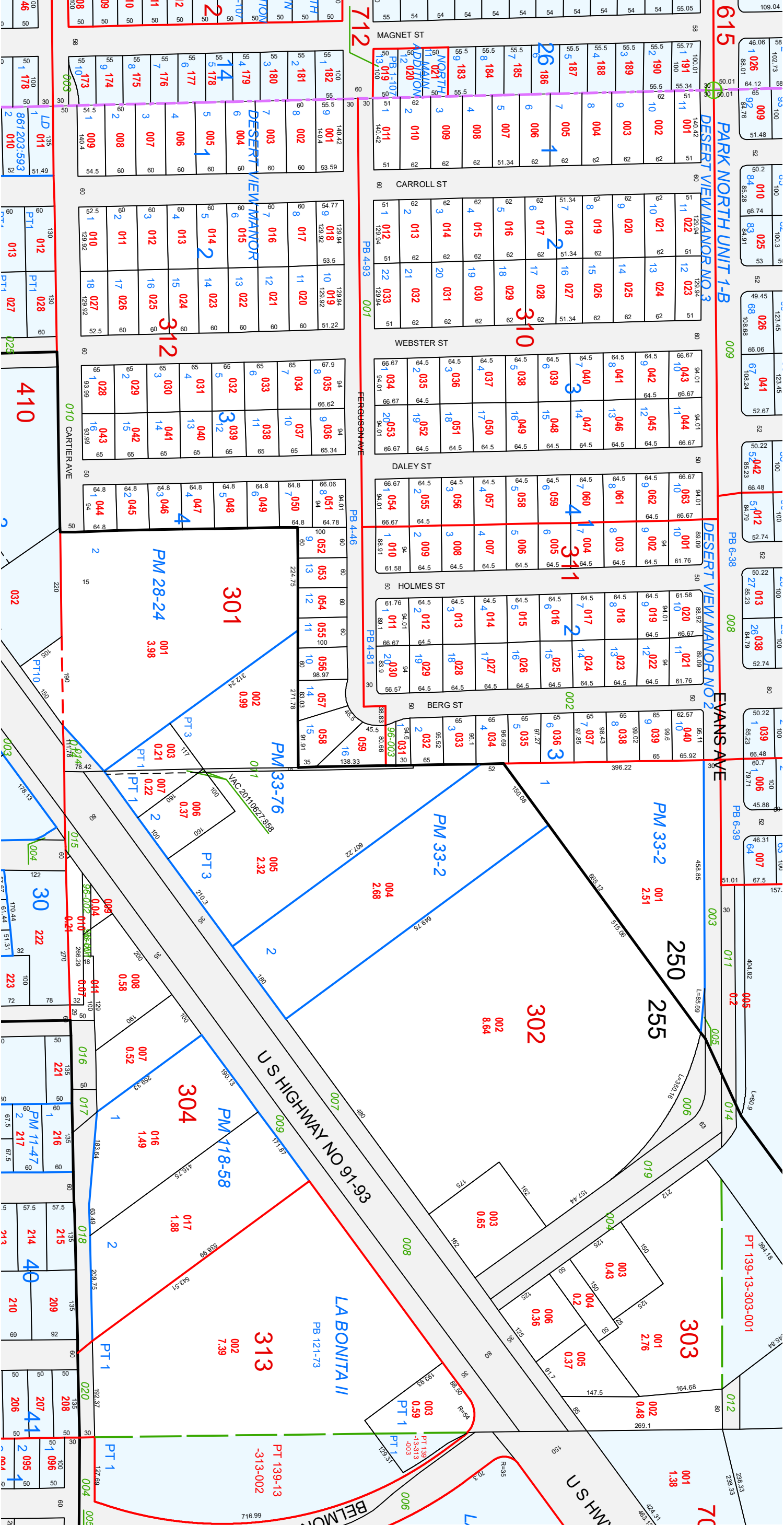
139-13-3

125	124	123	12
138	139	140	14
163	162	161	16

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

Scale: 1" = 200'

Rev: 1/8/2019

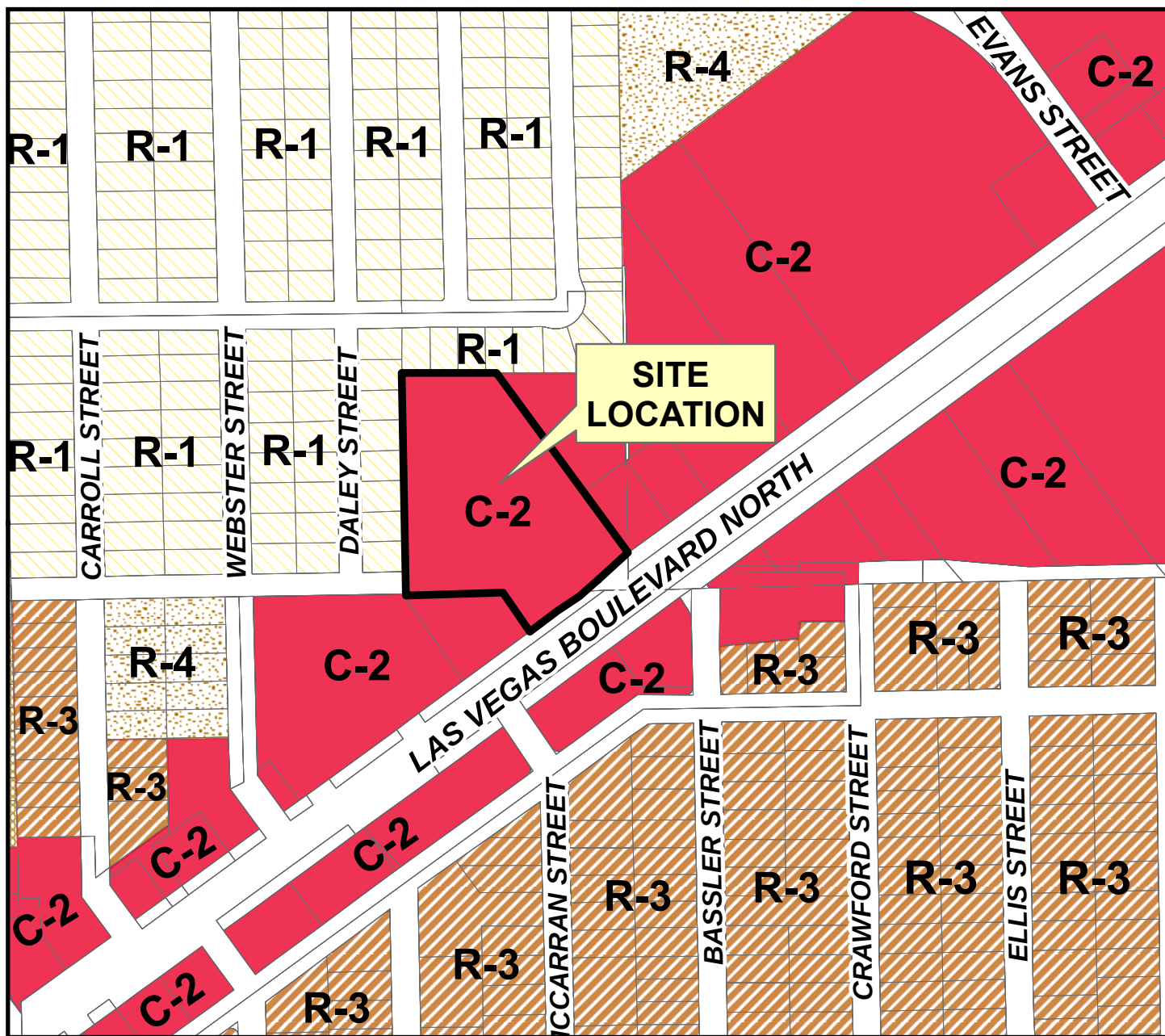


TAX DIST 255,250



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Sean Nourani Architect
Application Type: Special Use Permit
Request: To Allow a Vehicle, Boat and RV Service Facility
Project Info: 2595 Las Vegas Boulevard North
Case Number: SUP-45-2020

11/4/2020

