

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Sharianne Dotson, Planner, Land Development & Community Services
From: Robert Weible, Land Development Project Leader, Department of Public Works
Subject: SUP-37-2020 **Circle K at Ann & Simmons**
Date: October 15, 2020

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans. Conformance may require modifications to the site plan.
3. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040. Conformance may require modifications to the site.
4. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Number 222.1 and 225.
5. The property owner is required to grant a roadway easement for commercial driveways.
6. Dedication and construction of the following streets and/or half streets is required per the Master Plan of Streets and/or Highways and City of North Las Vegas Municipal Code section 16.24.100:
 - a. Ann Road (sidewalk)
 - b. Simmons Street (sidewalk)
7. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
8. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required.
9. The existing bus turn-out shall be modified to comply with *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Number 234.4 to provide an exclusive right turn lane into the development.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**:
<http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.

Robert Weible, Land Development Project Leader
Department of Public Works

Letter of Intent

**Circle K Store
SEC Ann Rd and Simmons St
North Las Vegas, Nevada**

Special Use Permit

This application is a request for a Special Use Permit for a convenience store with gas pumps. The proposed project is located at the southeast corner of Ann Road and Simmons Street as shown in the aerial photo below and more specifically identified as APN #124-32-501-023. The property is C-1, Neighborhood Commercial.



Project Description

Circle K Stores Inc. proposes the construction of a new 5,187 square foot retail convenience grocery store with 7 gasoline dispensing pumps. The proposed Circle K facility will be operated 24 hours a day, 7 days a week. The project site is located adjacent Ann Road with existing commercial development to the west and north, and to the east is developed single-family housing. The parcel to the south of the site is undeveloped.

Site Access

The proposed development is anticipated to receive a significant volume of vehicular traffic. To accommodate the consumers anticipated to visit the facility, access to the Circle K will be provided by the full access drive on Simmons Street and a Right-In Right-Out on Ann Road.

Parking and Circulation

The design of the site provides for ample on-site circulation as well as space for vendor and fuel delivery parking. To avoid onsite vehicle congestion and provide a safe environment for customers, the project offers additional parking spaces beyond the requirement.

Landscaping

The site will be very well landscaped especially along the eastern portion of the site in an effort to visually buffer the project while maintaining the openness and continuity of existing landscaping in the area.

Architectural Design

The proposed building will be one (1) story with a maximum height of twenty three (23) feet, eight (8) inches. The store will include enhanced architectural elements and the use of a variety of materials and colors. The materials and colors will feature a range of tans and browns in the color palette, accented with the use of CMU split-face block and stone. The architectural theme is continued on the fuel canopy and monument signs to provide a consistent architectural theme for the development project.

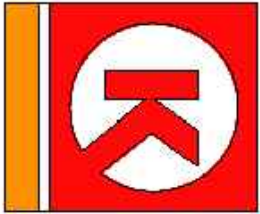
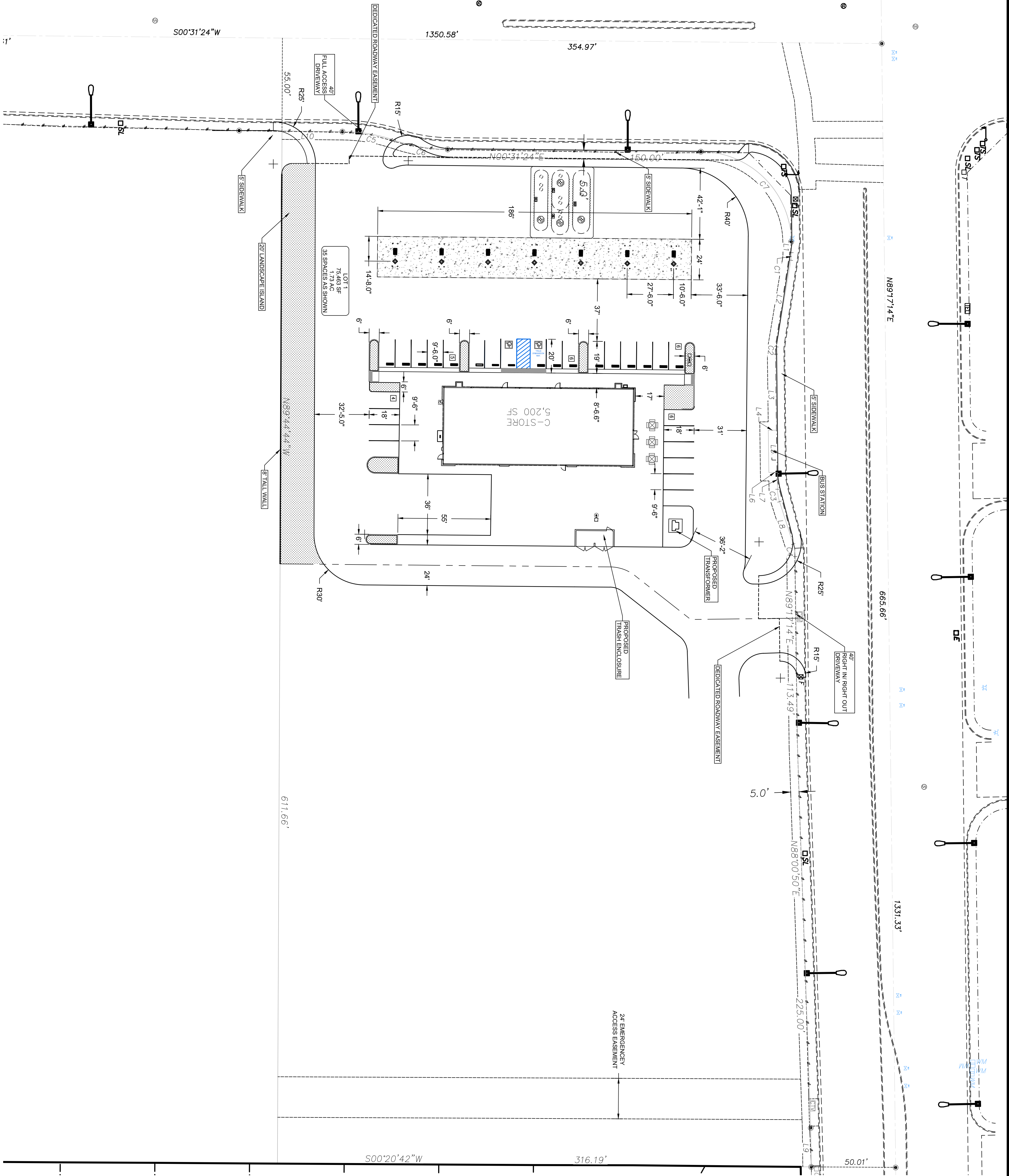
Site Lighting

The Site Lighting will conform to the requirements of the City and will be located in strategic locations throughout and along the perimeter of the project to provide sufficient illumination while not impacting any of the adjoining properties. All lights within the building façade and fuel canopy are flush mounted so as not to cause light spillage. All other site fixtures provide for screening or shielding of the illumination source to further prevent light spillage.

Impact Assessment

The project location is more than 500 feet from another jurisdiction and an Impact Assessment is not required.

Circle K believes the proposed project will bring a new and aesthetically pleasing facility to the City of North Las Vegas along the highly travelled Ann Road. The project will complement other retail developments in this developed area, providing enhanced consumer products and services to the surrounding community. The fueling facility is designed with state-of-the-art containment and vapor recovery systems to ensure protection of the environment and is not detrimental to the public health, safety or welfare, nor cause damage or nuisance arising from noise, smoke, odor, dust vibration or illumination. Through the use of landscaping and building design, we believe that the proposed development mitigates any adverse impacts on the natural environment. Furthermore, we believe that the project meets the general intent and purpose of the City of North Las Vegas Zoning Code. Therefore, we request that the Special Use Permit be approved

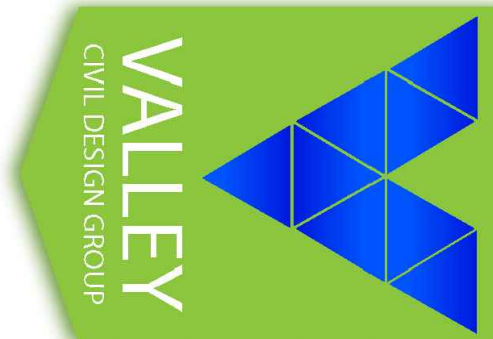


CIRCLE K STORE INC.
1130 WEST WARNER RD.
BUILDING B
TEMPE, AZ 85284

No.	Revision/Issue	Date



LAND DEVELOPMENT
CONSULTANTS, LLC
SUITE 200
11871 N. TATUM BLVD.
PHOENIX, AZ 85028
602.660.8101



8275 S. EASTERN AVE.
SUITE 200
LAS VEGAS, NV 89123
702.551.2005
www.valley-cdg.com

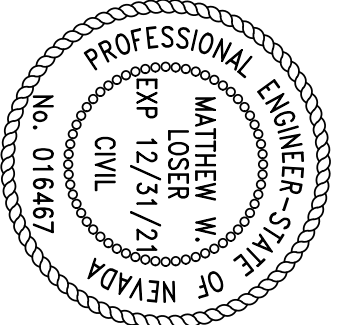
CIRCLE K Ann Rd
@ Simmons Ave.
LAS VEGAS, NV

CONCEPTUAL SITE LAYOUT

PROJECT NAME: CIRCLE K ANN RD.
@SIMMONS AVE.
PROJECT ADDRESS: 5545 SIMMONS ST, N LAS VEGAS 89031
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE W ASSOCIATED FUEL SALES CONSISTING OF A 5,200 SF CONVENIENCE STORE AND A FUEL CANOPY WITH 7 FUEL PUMPS
ZONING INFORMATION
JURISDICTION: NORTH LAS VEGAS
ZONING CLASSIFICATION: NEIGHBORHOOD (COMMERCIAL) (C-1)
PLANNED LAND USE: Northeast County
TOWNSHIP: --
SITE DATA:
APN: 124-32-501-023
GROSS PARCEL AREA: 205,603 sf (4.72 ac)
RIGHT OF WAY DEDICATION: 0 sf (0 ac)
CIRCLE K NET SITE AREA: 74,439 sf (1.7 ac)
EXCESS PROPERTY: 0 sf (0 ac)
BUILDING AREA
CONVENIENCE STORE BLDG AREA: 5,200 SF
FUEL CANOPY AREA: 4,464 SF
CIRCLE K LOT COVERAGE: 14.08%*
*FUEL CANOPY + C-STORE

PARKING AND SITE REQUIREMENTS
PARKING REQD: 5 SPACE/1000 SF
REQUIRED: 26
PROVIDED: 27
ADA PARKING: 2 (1 VAN STALL)
LOADING SPACES: 0
REQUIRED: 1
YARD SETBACK: 10'
FRONT: 10'
INTERIOR SIDE: 0'
SIDE: 0'
REAR: 0'
HEIGHT: 25' MAX
LOT COVERAGE: 60%
OK
OK
OK
OK
OK
OK
OK

OCCUPANCY CLASSIFICATION:
GROUP M - MERCANTILE
TYPE OF CONSTRUCTION



CHECKED BY ML VALLEY CIVIL DESIGN JOB NO. 19-518	ISSUE DATE: 09/16/2019
SHEET	SP4

VB

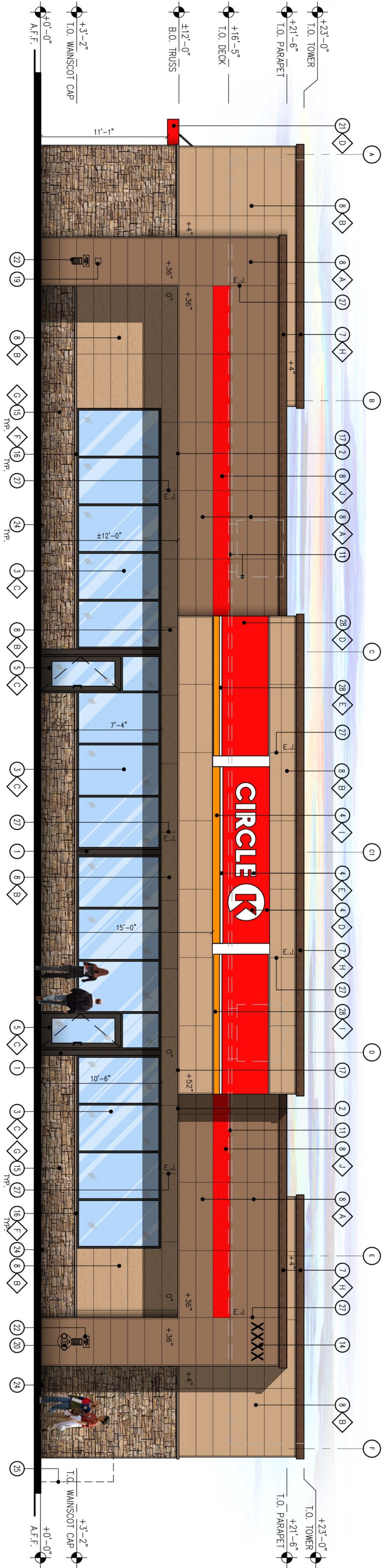
KEY NOTES

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CANOPY / SKEET
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS WINDOW SYSTEM
- INITIALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL CORING
- NICHIA FIBER GLASS WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK
- SSS PANEL LOCATION
- ROOF LINE AND HVAC UNITS
- 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
- ROOF DRAIN TAIL OVERFLOW
- ADDRESSING LOCATION, 8" TALL, INCH BLACK NUMBERS
- FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- 1-3/8" THK. X 6" NICHIA KARBSTONE HIGH FIBER GLASS WAINSCOT
- 1-1/2" HIGH NICHIA FIBER GLASS CAP INSTALL PER MFR. SPECS.
- NICHIA ESSENTIAL OVERHANG* FLASHING
- PARAPET WALL BEYOND
- (KNOX) KEY-BOX AT 6'-0" AFF. (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM ANCHOR WITH SUPPORT ROSS ABOVE THE SITE ENTRY DOOR
- BY CIRCLE K VENDOR, PROVIDE BLOCKING IN EXTERIOR WALL FOR ANCHOR AND SUPPORTS
- EMERGENCY FILE SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHIA ESSENTIAL SWARTER* FLASHING
- CO2 TANK WITH METAL COVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIGNWALL/CORNER
- CONTROL/EXPANSION JOINT "E.I." LOCATION
- ACM BOARD PANELS PROVIDED & INSTALLED BY SMOKE VENDOR

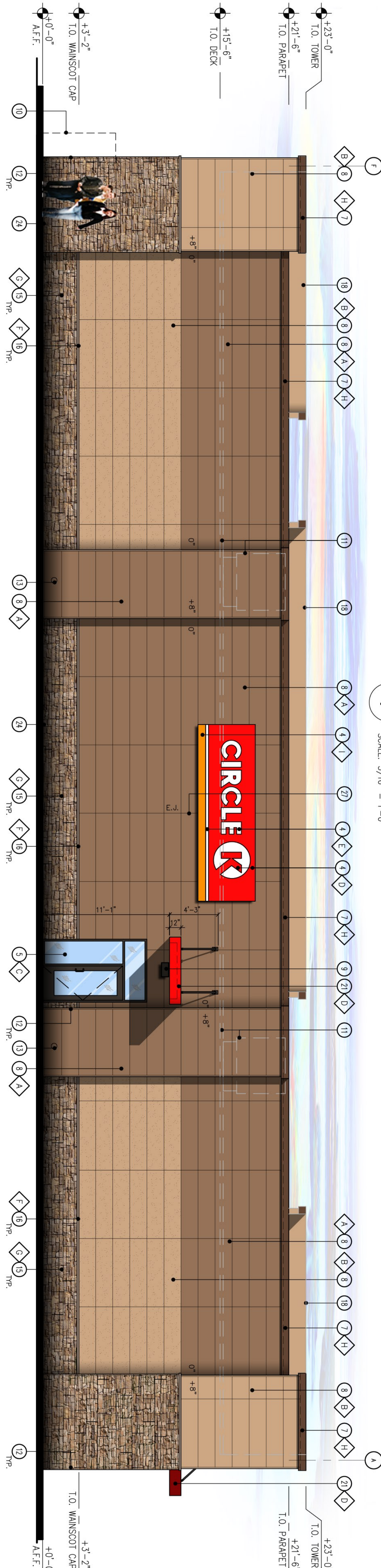
FINISH SCHEDULE

- | | |
|---|---|
| A | ***NICHIA TUFF BLOCK |
| B | - COLOR TO MATCH #5W 6095 TONISTY |
| C | ***NICHIA TUFF BLOCK |
| D | - COLOR TO MATCH #5W 6115 TOTALLY TAN |
| E | - 1" INSULATED, DOUBLE PANELED, GRAY TINTED GLASS |
| F | ***SHERWIN WILLIAMS #5W 4081 |
| G | - **SKEET RED |
| H | ***SHERWIN WILLIAMS #5W 7005 |
| I | - CIRCLE K WHITE |
| J | ***NICHIA CHESTLED SIL. TAN |
| K | - ***NICHIA LEDGESTONE BLUFF |
| L | ***SHERWIN WILLIAMS #5W 6090 - JANA |
| M | - FREESTONE WAINSCOT BROWN SR (USE FOR PRE-FINISHED METAL CORING) |
| N | - CIRCLE K ORANGE #5W 114 |
| O | ***NICHIA TUFF BLOCK |
| P | - COLOR TO MATCH #5W 4081 |

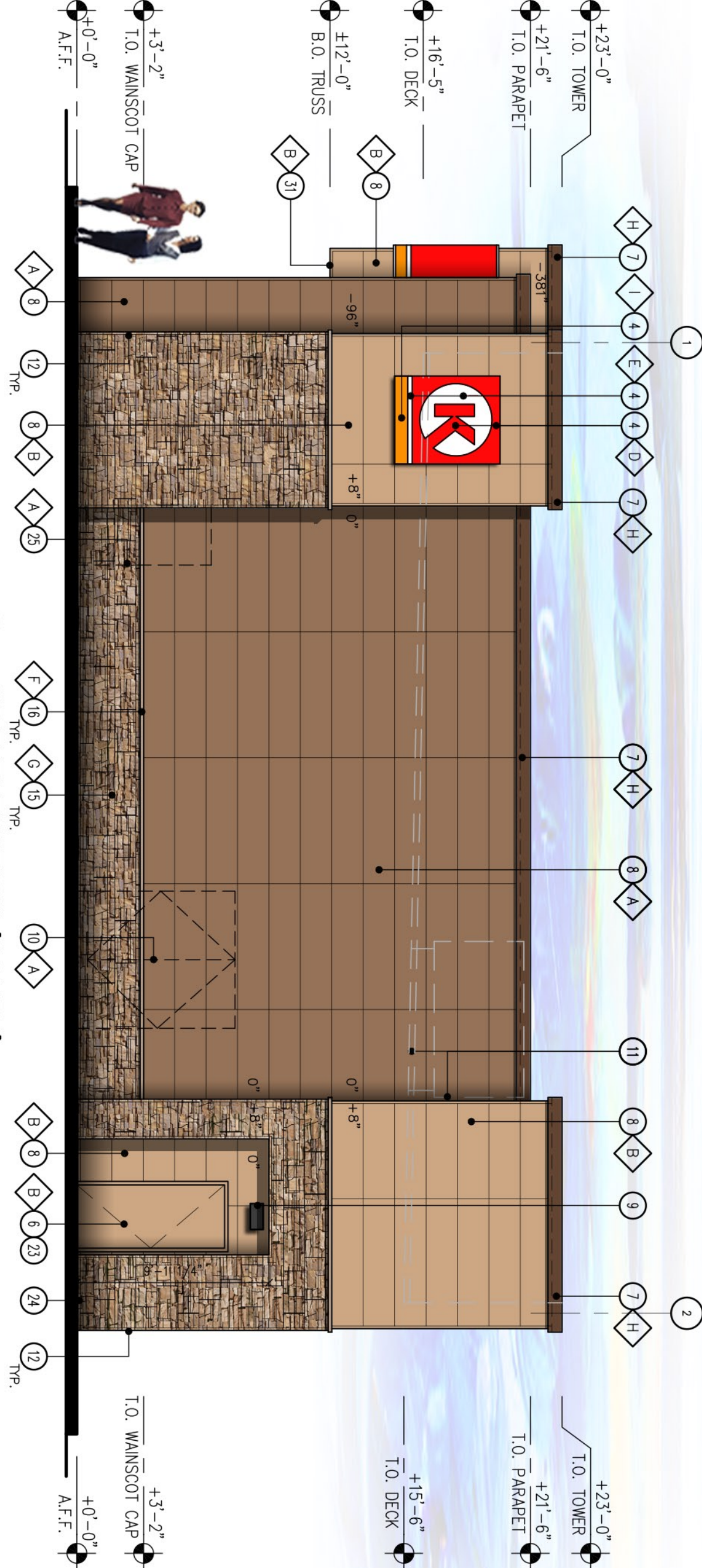
* USE SHERWIN WILLIAMS WAINSCOTED ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY
AT TIME OF CONSTRUCTION
*** PURCHASED BY CIRCLE K/INSTALLED BY C.C.
**** CIRCLE K SIGNAGE TO BE PURCHASED SEPARATELY WITH C.K. PH AND OWNER'S MFP
cde@archstudio.com



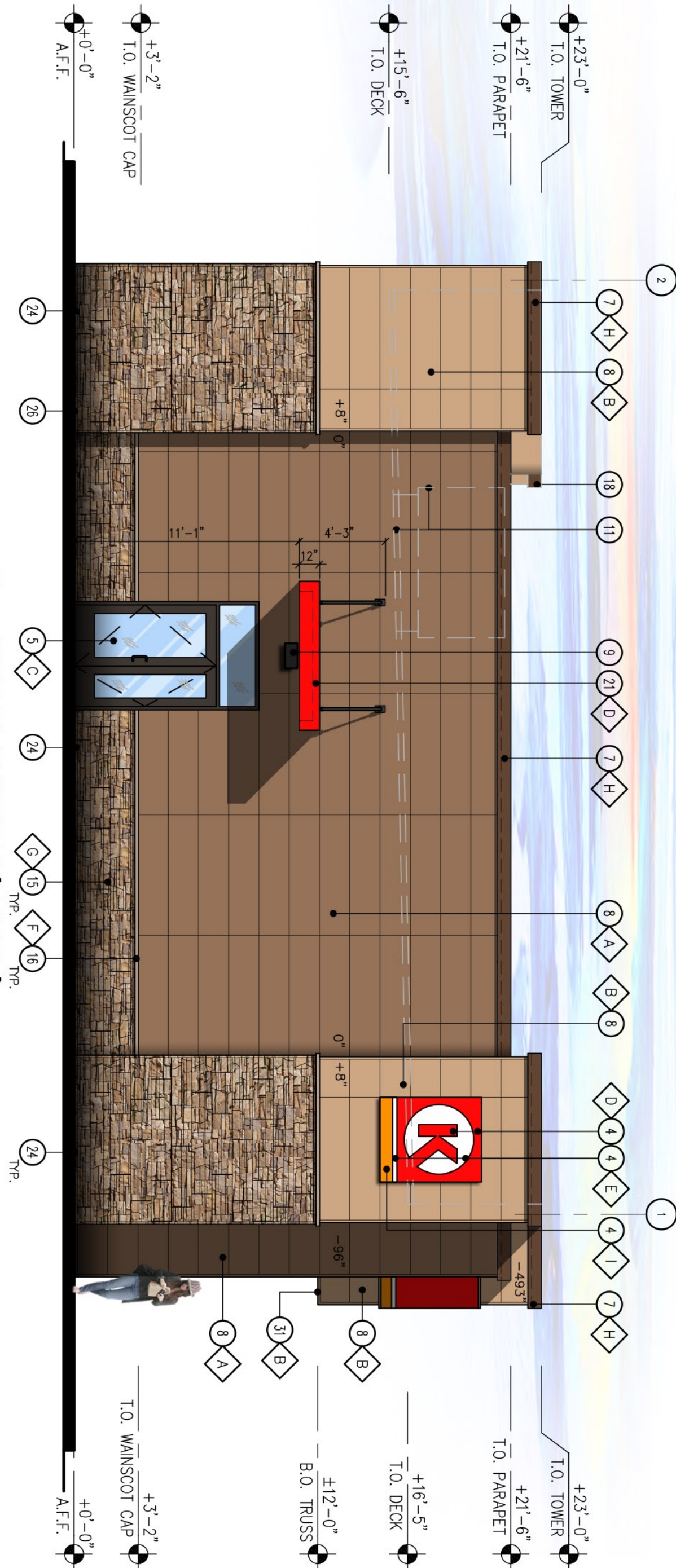
1 FRONT ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



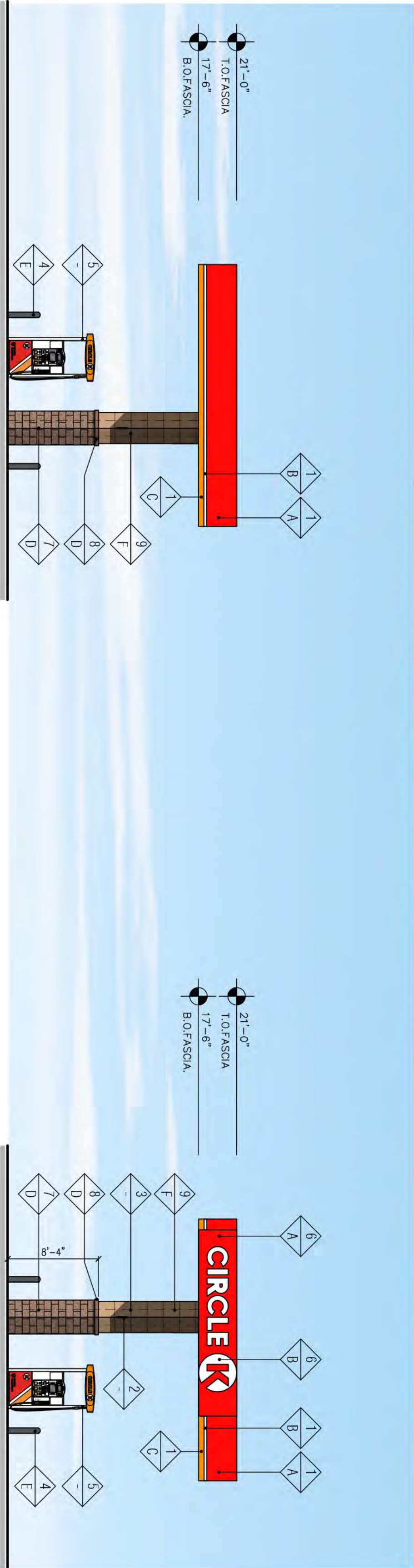
3 SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

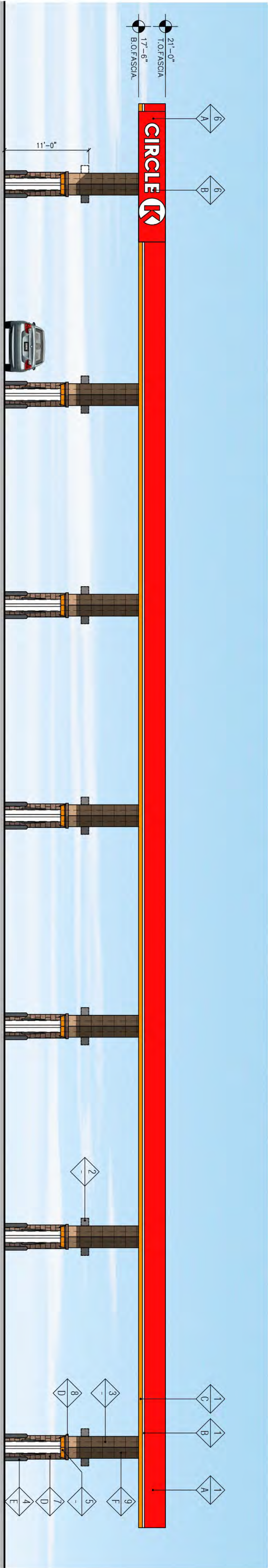
FINISH SCHEDULE	
FINISH MATERIAL	
1	ACM PANEL - "TEX-GOITE"
2	COLUMN FLANGS BY SIGNAGE VENDOR
3	LINE OF STEEL COLUMN WITHIN
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	INTERNALLY ILLUMINATED SIGN UNDER SEPARATE PERMIT
7	408X16 CMU VENEER, SPLIT FACE, GROUTED TO MATCH CMU COLOR
8	408X8 SOLID CMU CAP, INSTALL PER MFR. SPECS.
9	NICHHA FIBER CEMENT WALL PANEL SYSTEM
FINISH COLOR	
A	CIRCLE K RED - #PMS 485
B	CIRCLE K WHITE
C	CIRCLE K ORANGE - #PMS 144
D	SUPERLITE BLOCK SPLITFACE CMU - "BROOK BROWN"
E	PVC BOLLARD SLEEVE - "DARK GRAY"
F	NICHHA TUFF BLOCK - COLOR TO MATCH SHERWIN WILLIAMS - SW6115 - TOTALLY TAN

- Notes:
- Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
 - The fascia panels are pre-finished by signage vendor.
 - All signs require a separate submittal.
 - All lighting on canopy to be flush mounted with fascia.

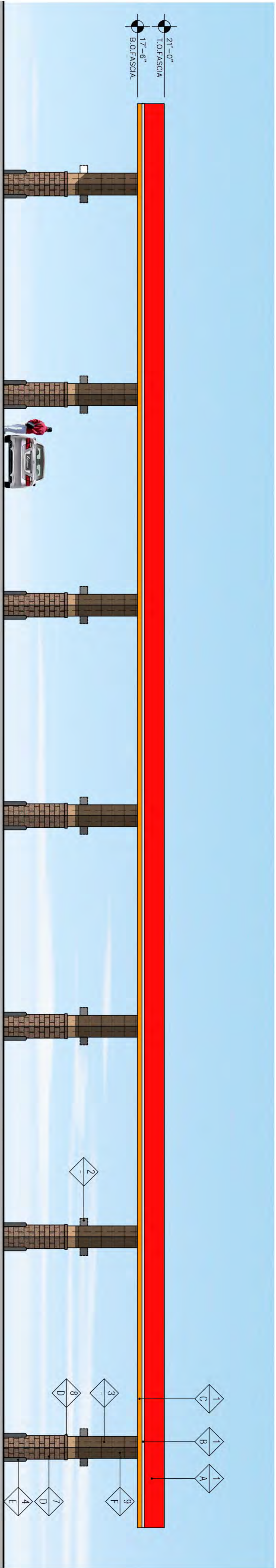


3 "SIDE" ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

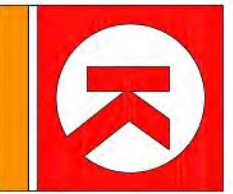
4 "SIDE" ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



2 "FRONT" ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



1 "REAR" ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

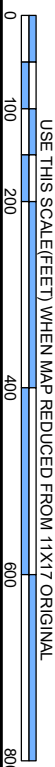




This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.



MAP LEGEND

- PARCEL BOUNDARY
 - SUB BOUNDARY
 - PM/LD BOUNDARY
 - ROAD EASEMENT
 - MATCH / LEADER LINE
 - HISTORIC LOT LINE
 - HISTORIC SUB BOUNDARY
 - HISTORIC PM/LD BOUNDARY
 - SECTION LINE
- CONDOMINIUM UNIT
 - AIR SPACE PCL
 - RIGHT OF WAY PCL
 - SUB-SURFACE PCL
- 007 ROAD PARCEL NUMBER
- 001 PARCEL NUMBER
- 1.00 ACREAGE
- 202 PARCEL SUB/SEQ. NUMBER
- PB 24-45 PLAT RECORDING NUMBER
- 5 BLOCK NUMBER
- 5 LOT NUMBER
- GL5 GOV. LOT NUMBER

ASSESSOR'S PARCELS - CLARK COUNTY, NV.

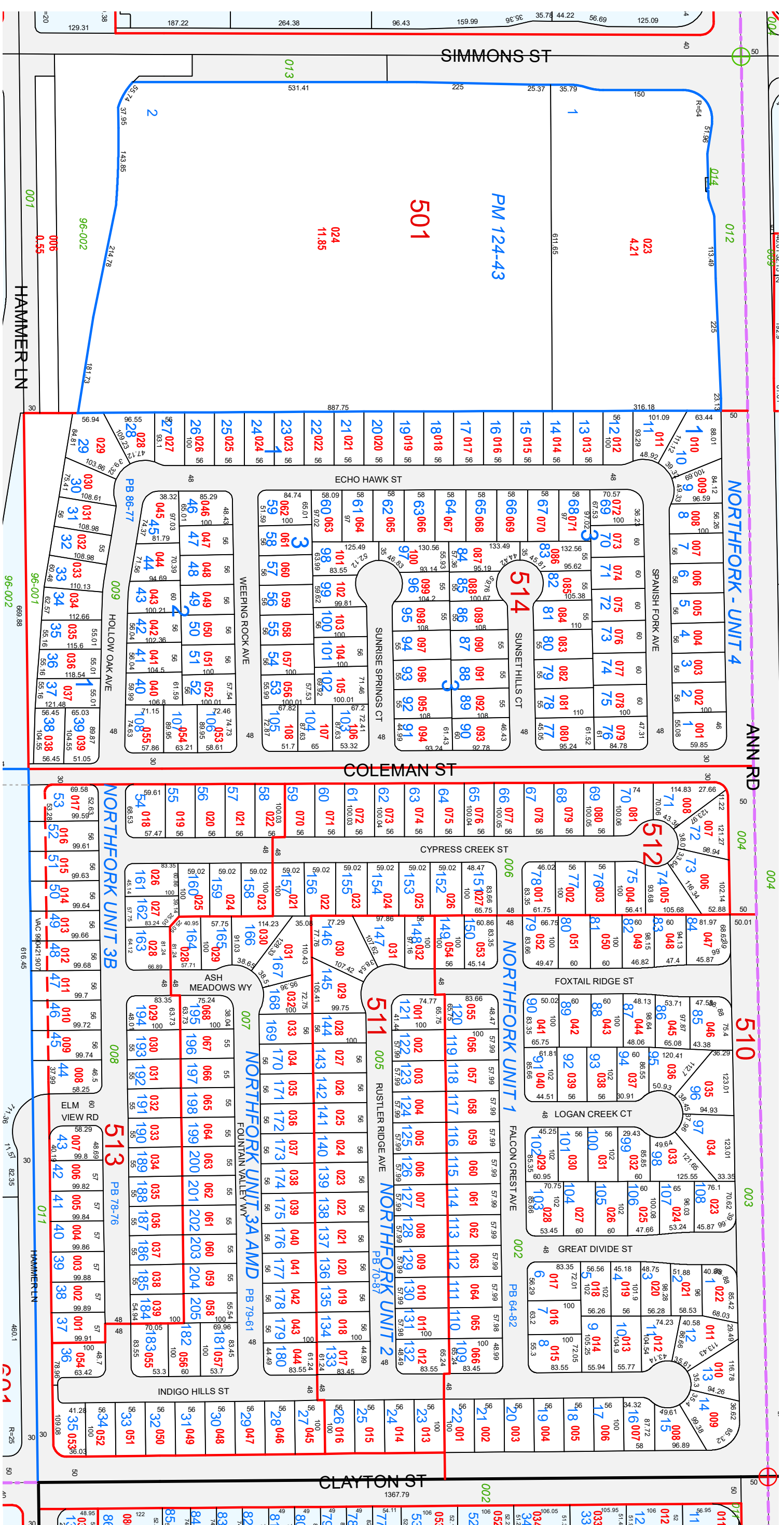
Briana Johnson - Assessor

BOOK T19S R61E

SHEET 32

MAP N 2 NE 4

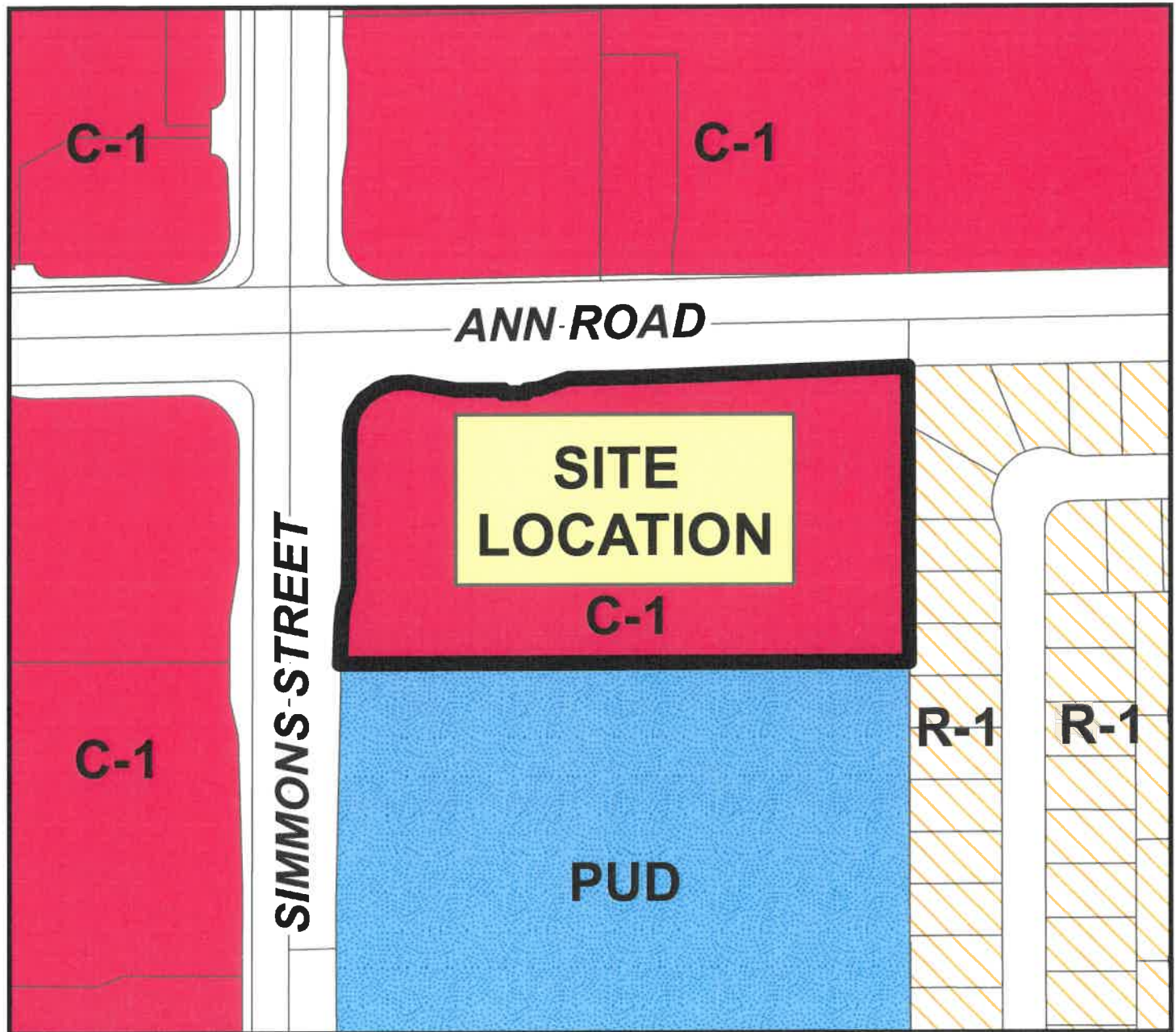
124-32-5





THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Applicant: Circle K Stores, Inc.
Application Type: Special Use Permit
Request: To Allow a Convenience Food Store with Gas Pumps
Project Info: Southeast corner of Ann Road and Simmons Street
Case Number: SUP-37-2020

10/7/2020

